

DEFINITIVE PLANNED UNIT DEVELOPMENT
CONCORD MEADOWS
365 CONCORD STREET
ROCKLAND, MA 02370

SITE SUMMARY:

OWNERS AND PARCEL
INFORMATION:

DANIEL G. & CHRISTINE M.
DELPRETE
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-35
DEED BOOK:16754, PAGE: 267

DELPRETE REALTY CORP.
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-46
BOOK:28919, PAGE: 257
ASSESSOR'S PARCEL: 62-36
DEED BOOK:28919, PAGE: 245

DANIEL DELPRETE
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-41&42
BOOK: 48716, PAGE: 32
ASSESSOR'S PARCEL: 62-43&44
BOOK: 37548, PAGE: 217

DEVELOPER:

CONROCK LLC
PO BOX 1414
DUXBURY, MA 02331

APPLICANT:

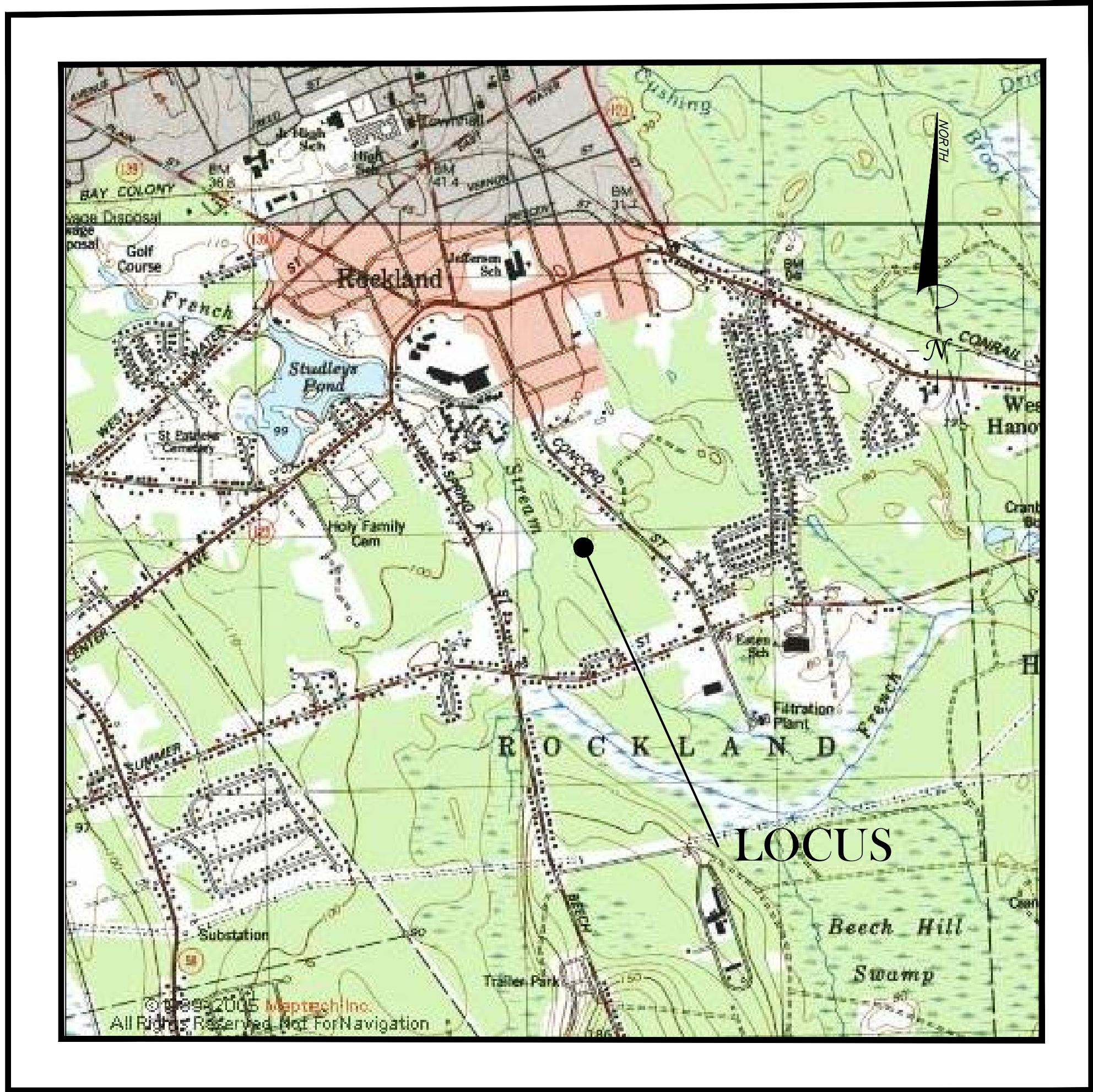
SULLIVAN & COMERFORD, P.C.
80 WASHINGTON STREET
BUILDING B, SUITE 7
NORWELL, MA 02061

ENGINEER AND SURVEYOR:

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MA 02061

ZONING DISTRICT:

RESIDENCE DISTRICT R-1



LOCUS PLAN:

(N.T.S.)

SHEET INDEX:

TITLE SHEET - TS (SHEET 1 OF 13)
EXISTING CONDITIONS PLAN 1 - EC1 (SHEET 2 OF 13)
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LAYOUT & GRADING - LG (SHEET 5 OF 13)
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ROADWAY LAYOUT AND PROFILE - RLP (SHEET 7 OF 13)
EROSION CONTROL - ER (SHEET 8 OF 13)
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OVERALL OPEN SPACE - OA (SHEET 13 OF 13)

FOR REGISTRY USE ONLY

WAIVERS REQUESTED:

TOWN OF ROCKLAND PLANNING BOARD RULES AND
REGULATIONS:

- SECTION I.H.2.A - BUFFER ZONE - MIN. OF 50' FROM ALL EXTERNAL LOT LINES, EXCEPT WHERE FRONTS AN EXTERNAL STREET TO BE KEPT IN NATURAL STATE IF WOODED.
- SECTION I.H.5 - DISTANCE BETWEEN BUILDINGS CALCULATION.
- SECTION III.B.1.F - STREETS - PROPOSED STREETS SHALL INTERSECT EXISTING AND OTHER PROPOSED STREETS AT RIGHT ANGLES FOR A DISTANCE OF 100'.
- TABLE 1, APPENDIX B, STREET DIMENSIONAL REQUIREMENTS- FOR RESIDENTIAL FEEDER STREETS (RES. FEEDER ST. REQUIREMENTS PER DESIGN STD. SECTION III.B.E).
- SECTION III.C.2.E.1 - DRAINAGE STRUCTURES - MINIMUM 2.5 FEET OF COVER SHALL BE REQUIRED OVER DRAIN PIPES.
- SECTION III.B.4.A - DEAD END STREET SHALL NOT PROVIDE ACCESS TO MORE THAN 8 DWELLING UNITS.
- SECTION III.B.4.B - LENGTH OF DEAD-END ROADS SHALL NOT EXCEED 600'.
- SECTION III.C.2.F.10 - BASINS FOR STORMWATER MANAGEMENT SHALL BE LOCATED ON SEPARATE LAND PARCELS.
- SECTION III.C.2.F.12 - BASINS FOR STORMWATER MANAGEMENT SHALL BE LOCATED 50' FROM ADJACENT USES, STRUCTURES AND PROPERTY LINES; AND 30' FROM WETLANDS.
- SECTION IV.H REQUIRES AT LEAST THREE TREES FOR EVERY ONE HUNDRED FEET ON EACH SIDE OF THE ROADWAY.
- SECTION III.C.2.F.8 REQUIRES A MAXIMUM BASIN SIDE SLOPE OF 3:1 (HORIZONTAL TO VERTICAL).
- SECTION III.C.2.F.4 REQUIRES A MINIMUM OF ONE FOOT OF FREEBOARD IN BASINS DURING THE 100-YEAR STORM.

LEGEND		
NOT TO SCALE		
— w — w —	PROPOSED WATER MAIN	
— g — g —	PROPOSED GAS MAIN	
— s — s —	PROPOSED SEWER MAIN	
— t/e/c —	PROPOSED TELEPHONE/ ELECTRIC/CABLE	
— — — —	FEMA FLOOD ZONE	
— — — —	WETLAND	
①	PROPOSED LOT	
— — — —	EXISTING CONTOUR LINE	
⊕ HYD	PROPOSED HYDRANT	
○ SMH	PROPOSED SEWER MANHOLE	

DRAWING REVISIONS		
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

- LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.
- SURVEY WAS CONDUCTED FROM JANUARY 2012 THRU SEPTEMBER 2021 USING BOTH LEICA ROBOTIC TOTAL STATION AND SOKKIA GPS UNIT.
- VERTICAL CONTROL DATUM NAVD 88 AND HORIZONTAL CONTROL IS MASSACHUSETTS STATE PLANE COORDINATES NAD83.

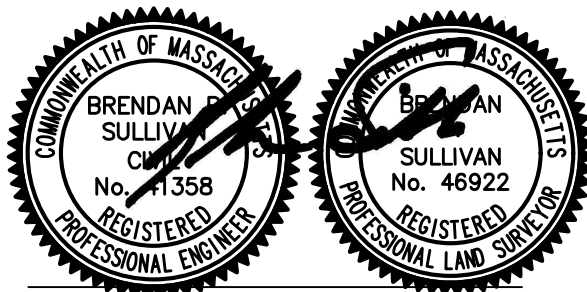
WETLANDS NOTES:

- RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS AND MASSACHUSETTS LAND COURT.

I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.



BRENDAN P. SULLIVAN, P.E., P.L.S.

DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

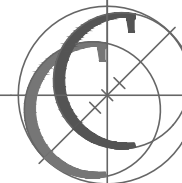
ROCKLAND TOWN CLERK

DATE

TITLE SHEET

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

DRAWING NO.

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

CHECKED BY : BPS/JCC

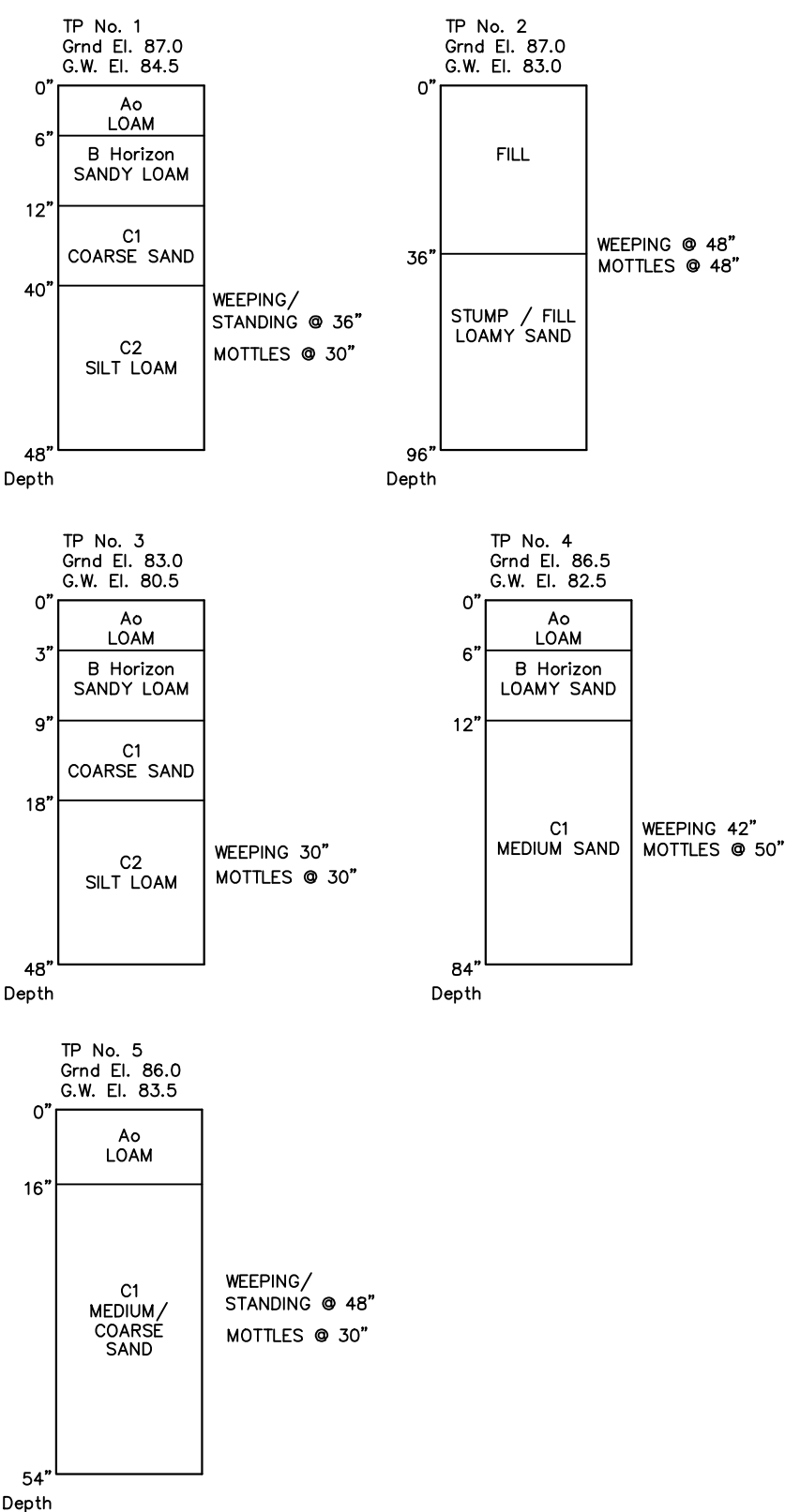
SHEET NO. 1 OF 13

FILENAME:

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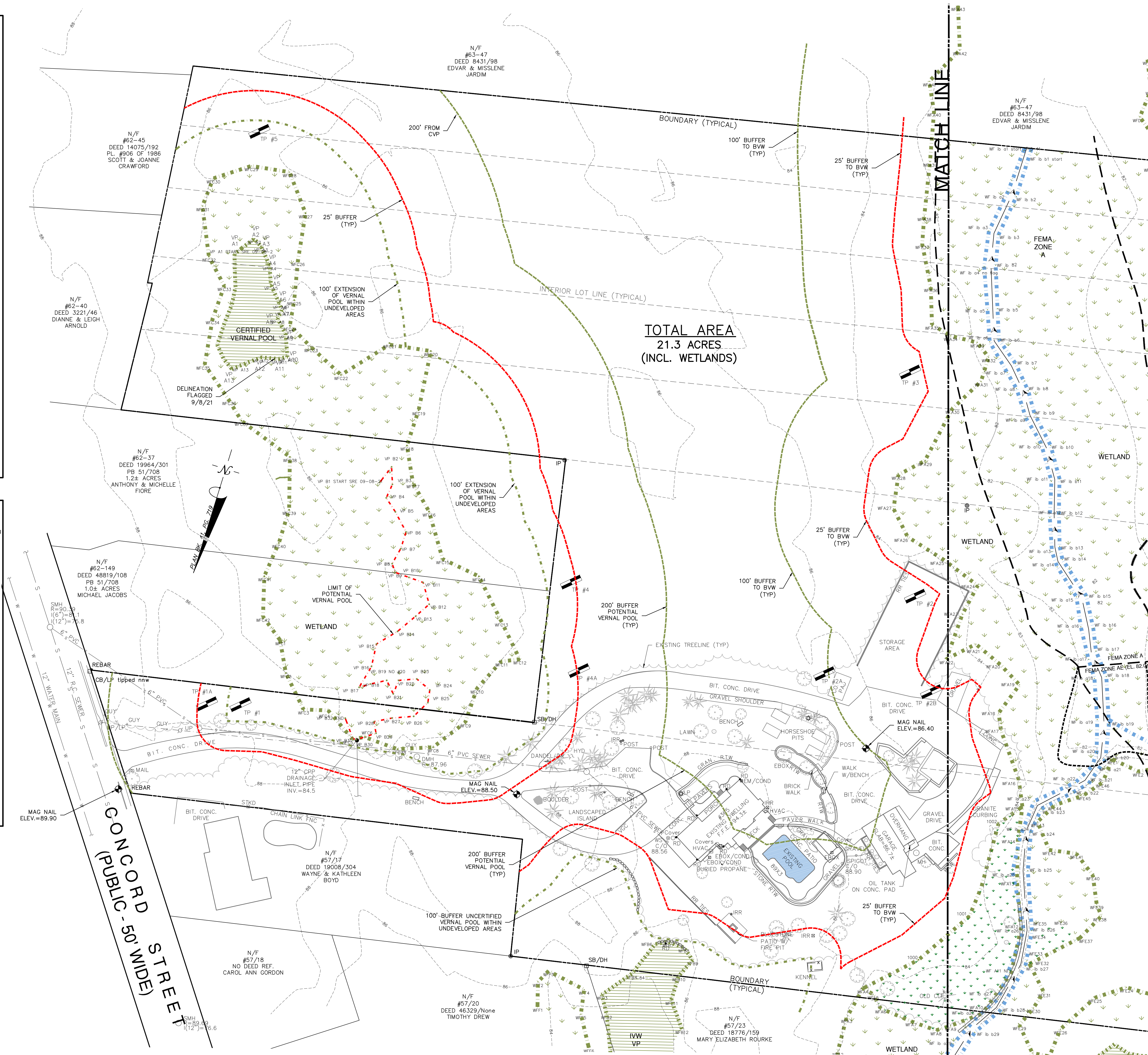
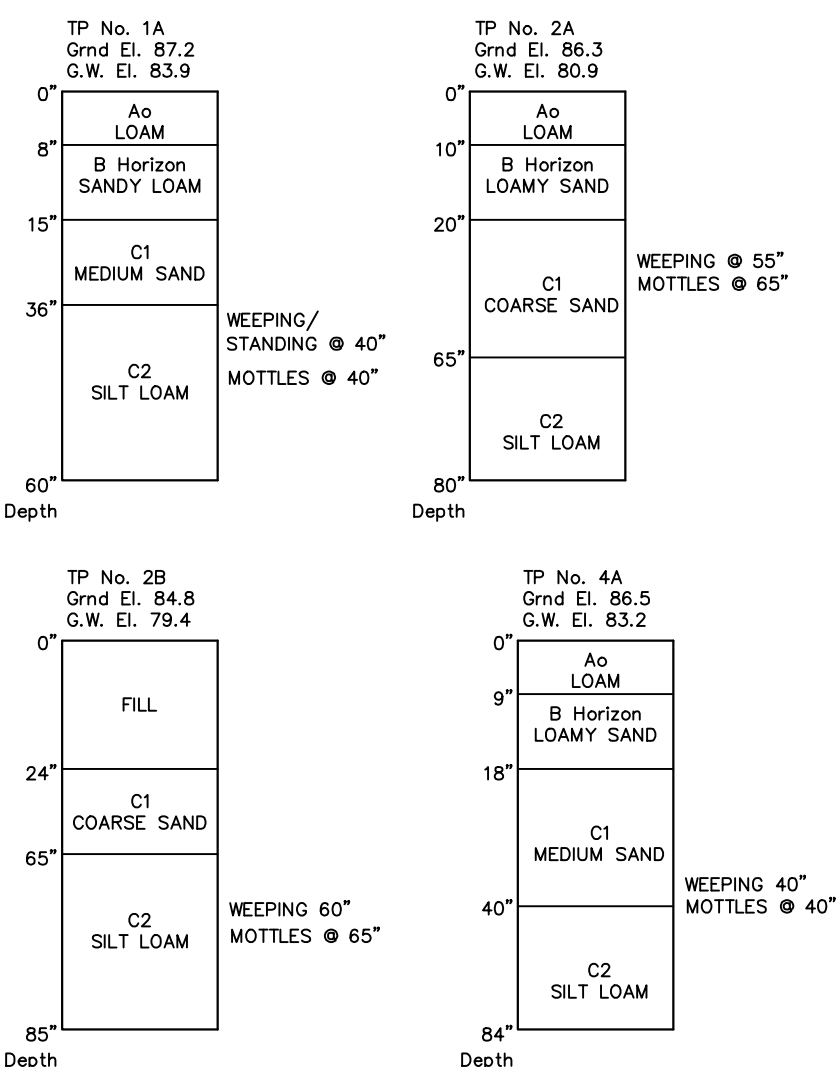
OILS EVALUATOR: JOHN CAVANARO P.E., S.E. – Cavanaro Consulting

Date: May 18, 2021



OILS EVALUATOR: BRENDAN SULLIVAN P.E., S.E. – Cavanaro Consulting

Date: August 31, 2021



DRAWING REVISIONS

5	11/30/21	CONSULTANT NOI REVIEW COMMENTS
4	9/23/21	CONSULTANT NOI REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

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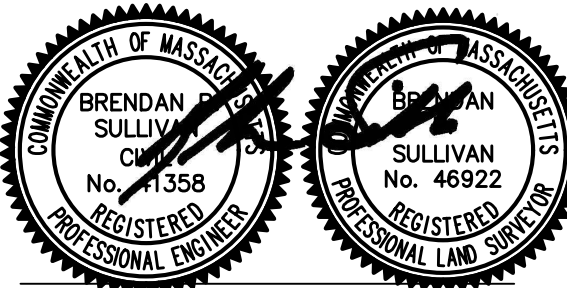
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BRENDAN P. SULLIVAN, P.E., P.L.S.

11/30/2021

DATE _____

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED:

I HEARBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK DA

DA

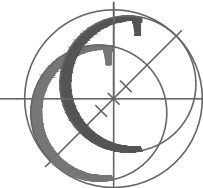
SCALE: 1" = 40'



EXISTING CONDITIONS 1

CAVANARO CONSULTING

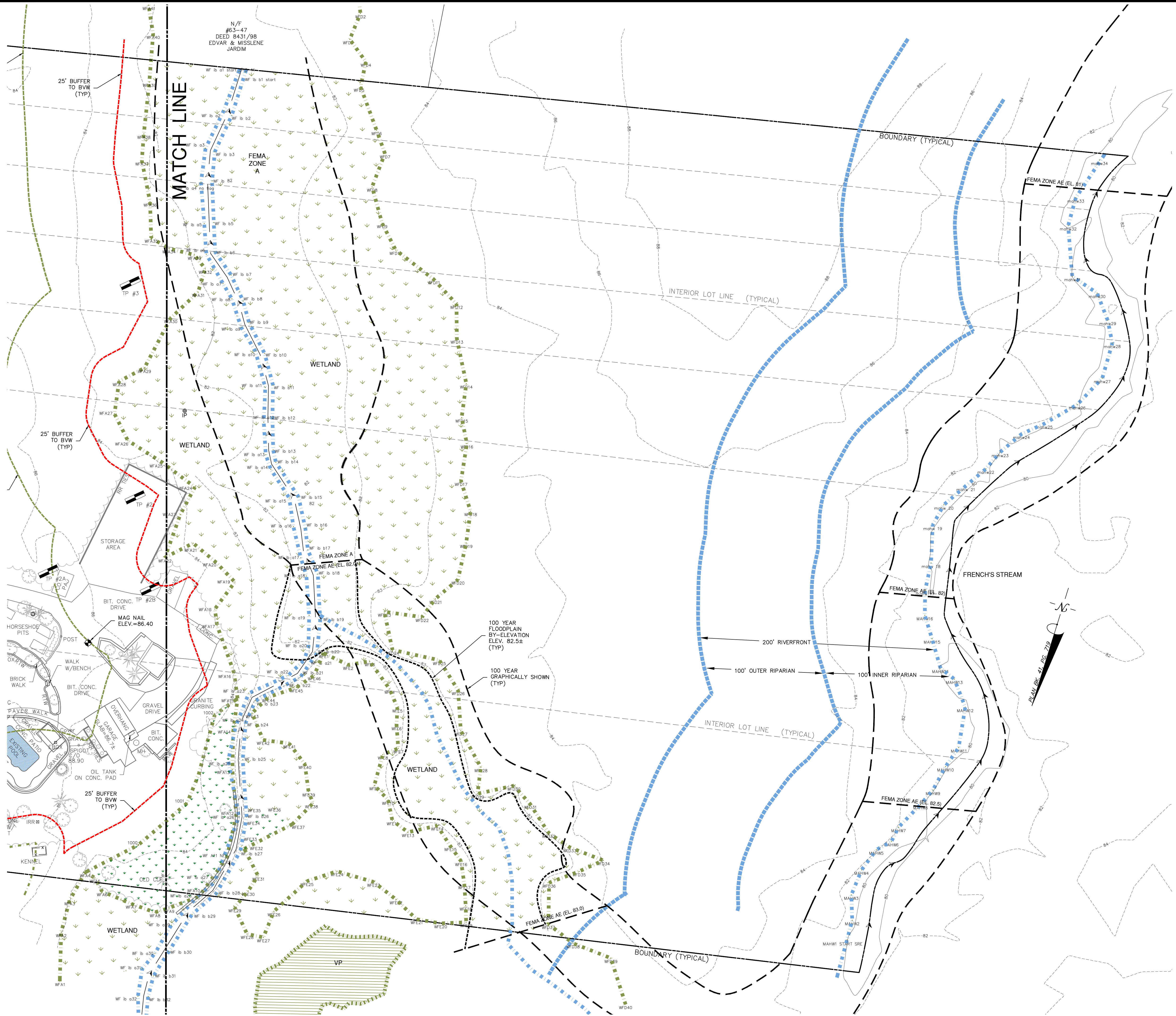
**687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186**



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	EC1
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCC	SHEET NO. 2 OF 13 FILENAME: W:\FY2019\19.103\DWG\DEF.SUB\DEF.ECON



DRAWING REVISIONS		
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
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BRENDAN P. SULLIVAN, P.E., P.L.S.

11/30/2021
DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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ROCKLAND TOWN CLERK

DATE

SCALE: 1" = 40'

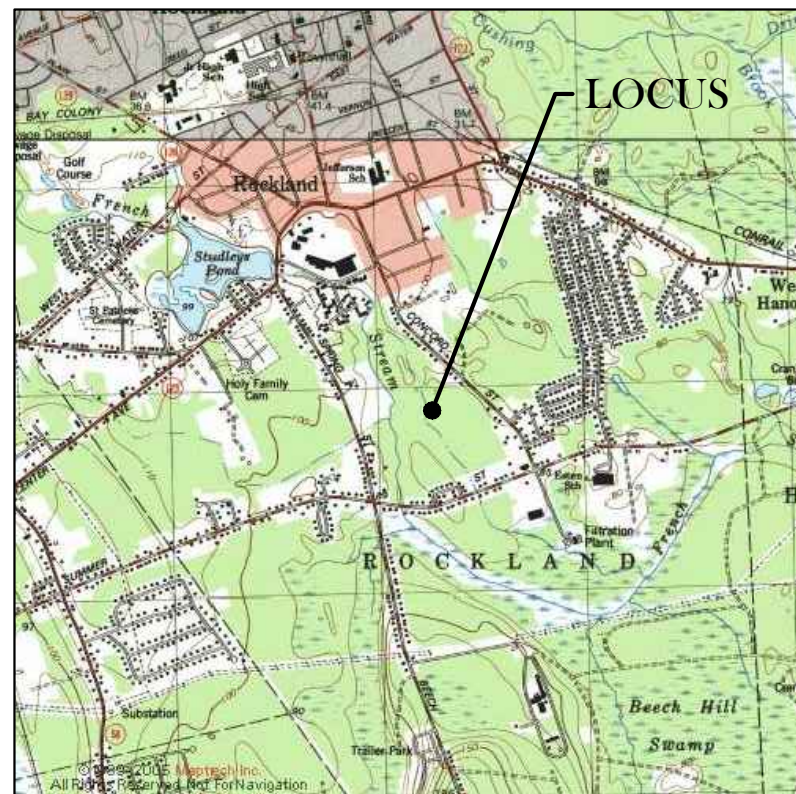
EXISTING CONDITIONS 2

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

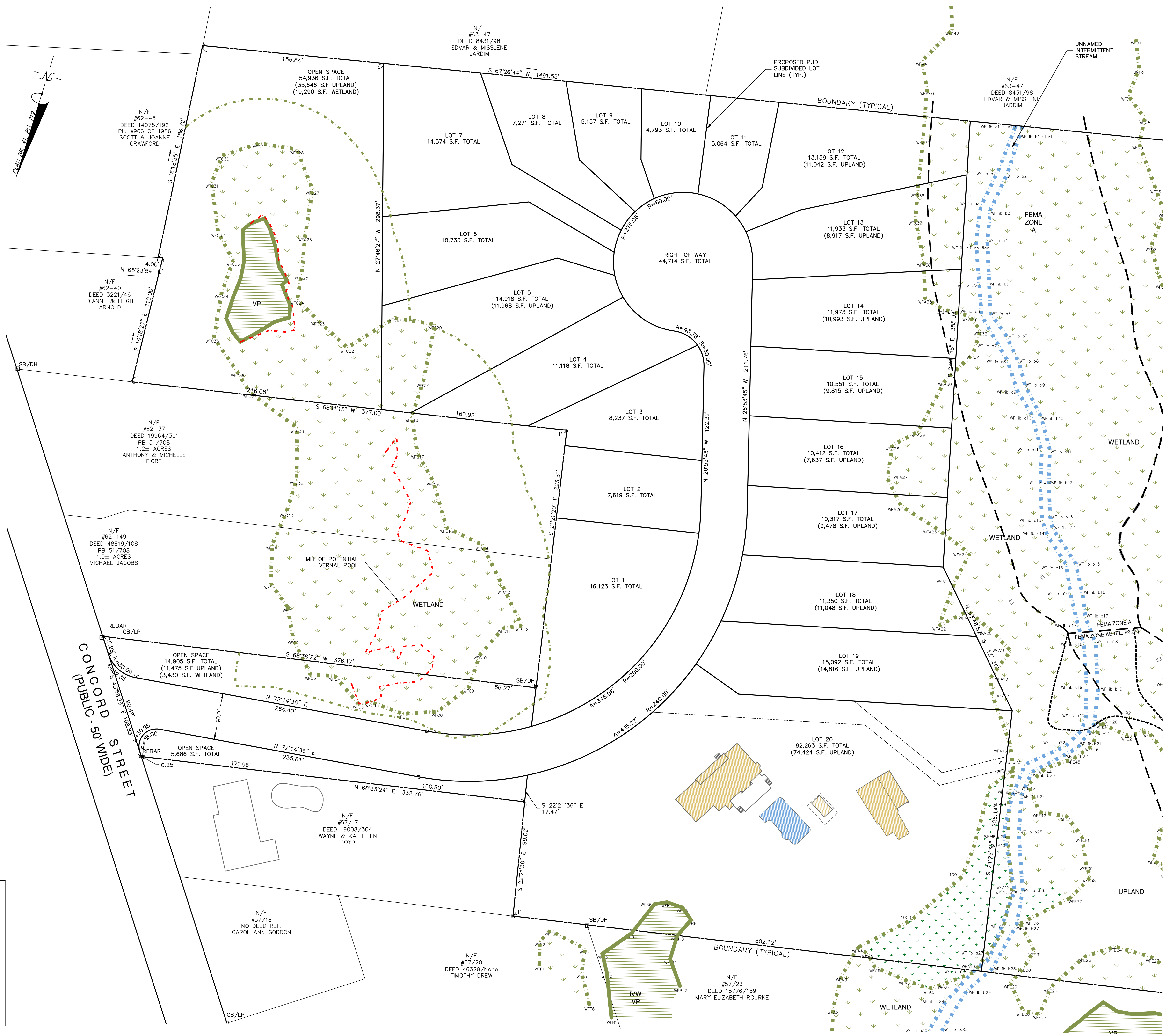
CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	EC2
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	SHEET NO. 3 OF 13
CHECKED BY : BPS/JCC	FILENAME: w:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG



LOCUS: CONCORD STREET - ROCKLAND, MA



LEGEND	
NOT TO SCALE	
—W—W—	PROPOSED WATER MAIN
—G—G—	PROPOSED GAS MAIN
—S—S—	PROPOSED SEWER MAIN
—T/E/C—	PROPOSED TELEPHONE/ELECTRIC/CABLE
---	FEMA FLOOD ZONE
▽	WETLAND
○	PROPOSED PUD LOT
—80—	CONTOUR LINE
○HYD	HYDRANT
○SMH	SEWER MANHOLE

DRAWING REVISIONS

5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS

ACTION

DATE

DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 2502300181K DATED JULY 6, 2021.

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COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

CHARTERED

No. 1358

PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

REGISTERED

No. 46922

PROFESSIONAL LAND SURVEYOR

11/30/2021

DATE

APPROVED BY

ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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ROCKLAND TOWN CLERK

DATE

SCALE: 1" = 40'

0' 20' 40' 80' 120'

PLANNED UNIT DEVELOPMENT 1

CAVANARO CONSULTING

687 MAIN STREET

P.O. BOX 5175

NORWELL, MASSACHUSETTS 02061

PHONE: 781.659.8187

FAX: 781.659.8186

CONCORD MEADOWS DEFINITIVE PUD PLAN

365 CONCORD STREET

ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC

P.O. BOX 1414

DUXBURY, MA 02331

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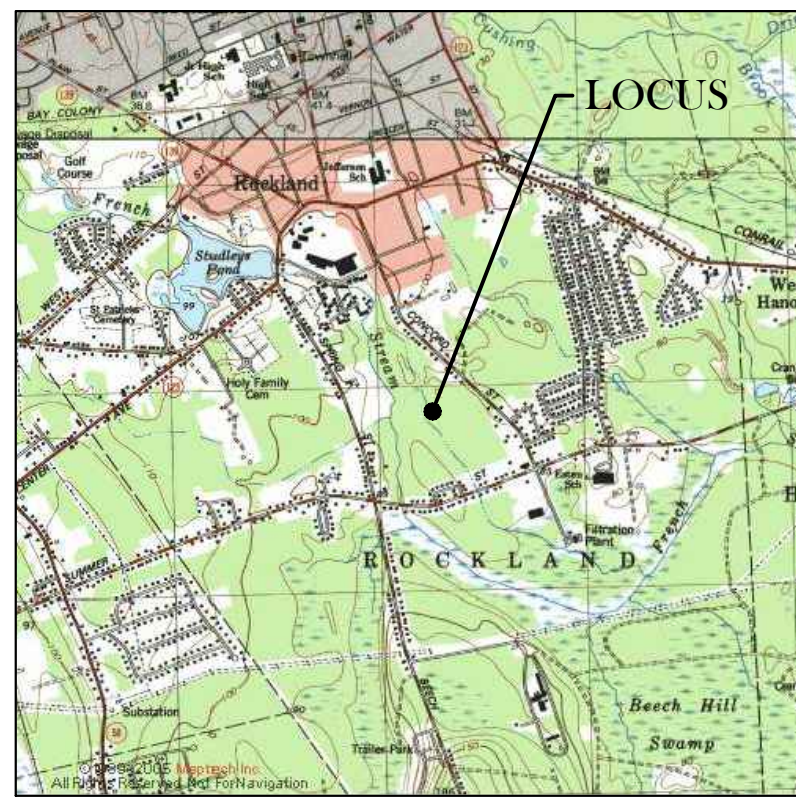
CHECKED BY : BPS/JCC

DRAWING NO.

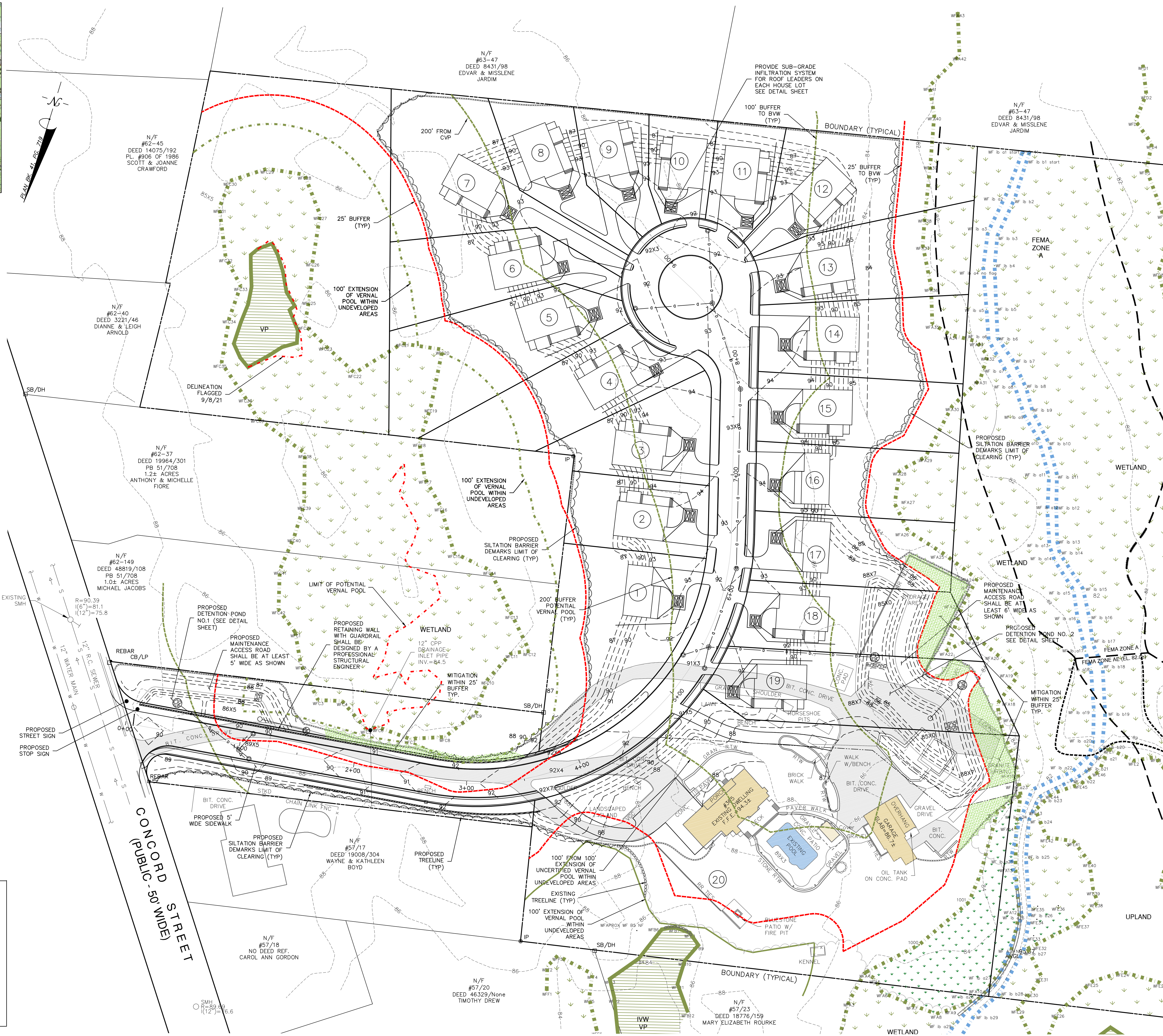
PUD

SHEET NO. 4 OF 13

FILENAME: W:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG



LOCUS: CONCORD STREET - ROCKLAND, MA



LEGEND	
NOT TO SCALE	
W W	PROPOSED WATER MAIN
T/E/C	PROPOSED GAS MAIN
T/E/C	PROPOSED TELEPHONE/ELECTRIC/CABLE
---	FEMA FLOOD ZONE
①	WETLAND
80	PROPOSED PUD LOT
○	CONTOUR LINE
○ HYD	HYDRANT
○ SMH	SEWER MANHOLE

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
4	9/23/21	CONSERVATION REVIEW COMMENTS
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11/30/2021

DATE

APPROVED BY

ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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ROCKLAND TOWN CLERK _____ DATE _____

SCALE: 1" = 40'

0' 20' 40' 80' 120'

LAYOUT AND GRADING

CAVANARO CONSULTING

687 MAIN STREET

P.O. BOX 5175

NORWELL, MASSACHUSETTS 02061

PHONE: 781.659.8187

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CONCORD MEADOWS

DEFINITIVE PUD PLAN

365 CONCORD STREET

ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC

P.O. BOX 1414

DUXBURY, MA 02331

PROJECT NO. : 19.103

DRAWING NO.

SCALE : AS SHOWN

DATE : 7/12/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

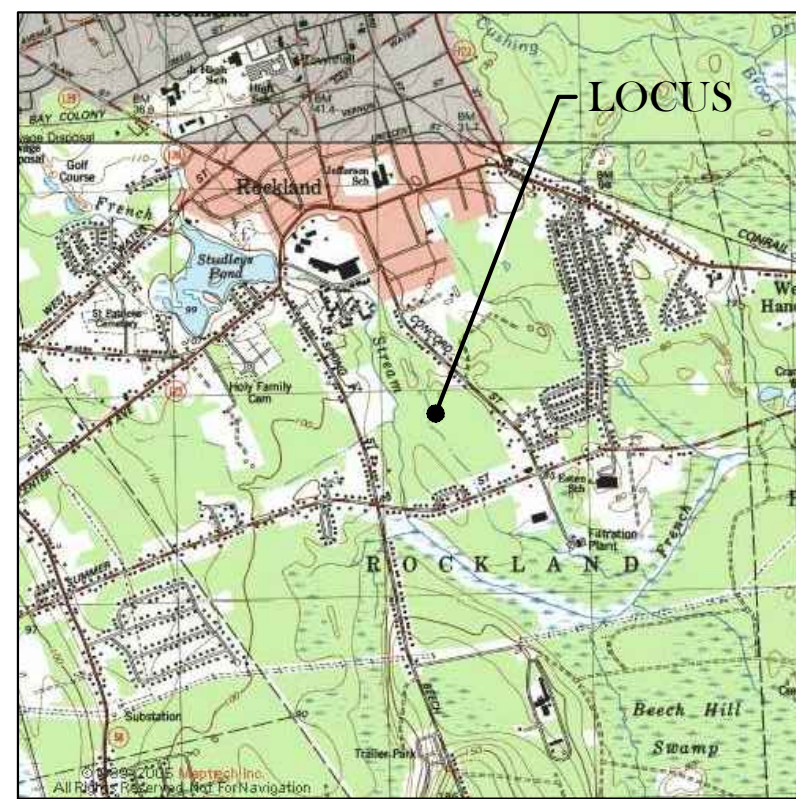
CHECKED BY : BPS/JCC

5 OF 13

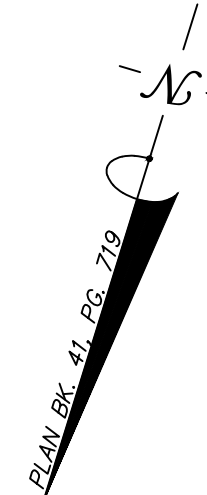
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FILENAME:

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LOCUS: CONCORD STREET - ROCKLAND, MA

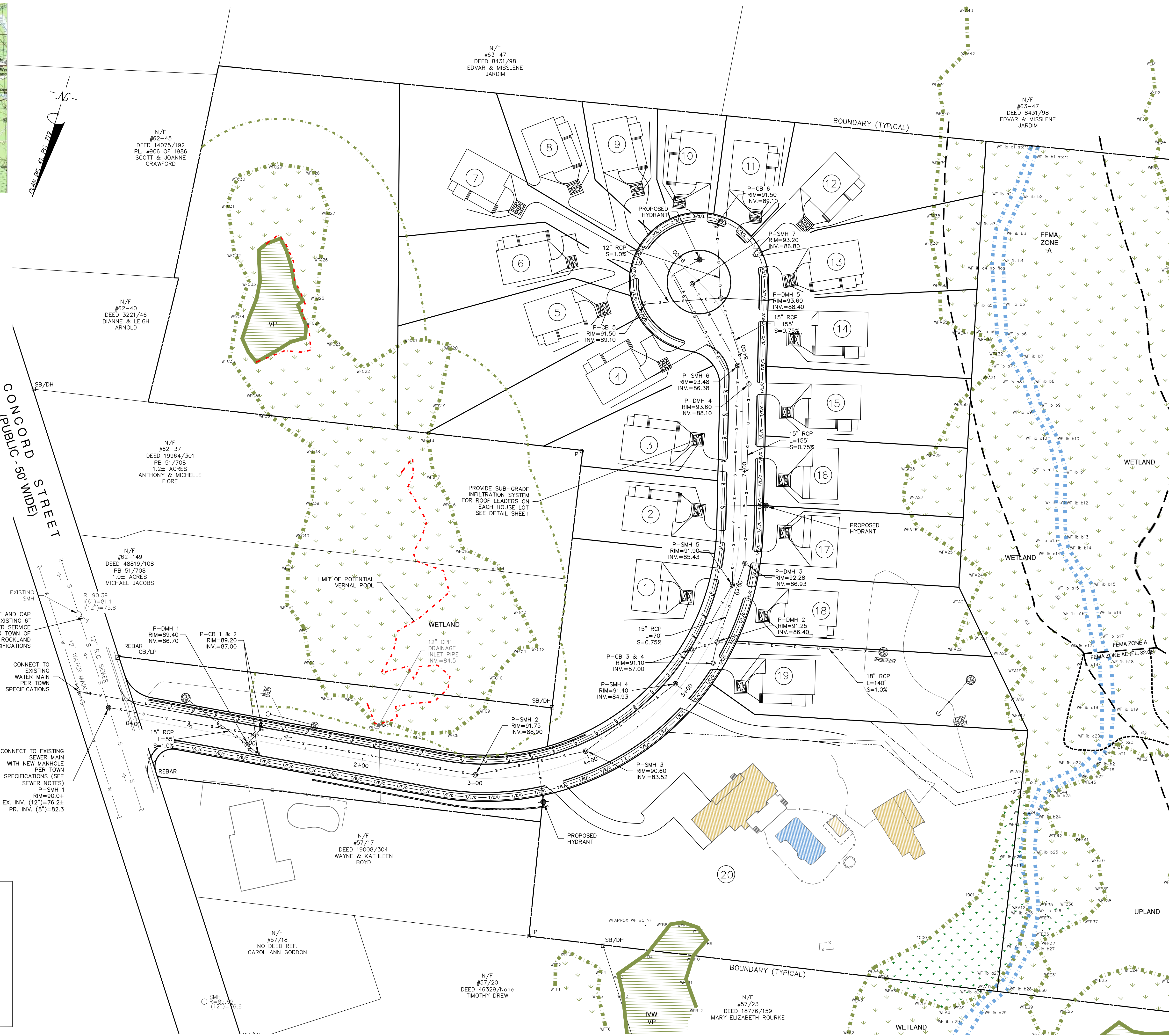


CONCORD STREET
(PUBLIC - 50' WIDE)

EXISTING SMH
CUT AND CAP
EXISTING 6"
WATER SERVICE
PER TOWN
SPECIFICATIONS
CONNECT TO
EXISTING
WATER MAIN
PER TOWN
SPECIFICATIONS

CONNECT TO EXISTING
SEWER MAIN
WITH NEW MANHOLE
PER TOWN
SPECIFICATIONS (SEE
SEWER NOTES)
P-SMH 1
RIM=90.0+
EX. INV. (12")=76.2+
PR. INV. (8")=82.3

LEGEND	
NOT TO SCALE	
W W	PROPOSED WATER MAIN
T/E/C	PROPOSED GAS MAIN
T/E/C	PROPOSED SEWER MAIN
T/E/C	PROPOSED TELEPHONE/ ELECTRIC/CABLE
---	FEMA FLOOD ZONE
○	WETLAND
○	PROPOSED PUD LOT
○	CONTOUR LINE
○	HYDRANT
○	SEWER MANHOLE



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NO.	DATE	DESCRIPTION
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SEWER NOTES:

1. PROPOSED SEWER MAIN AND SEWER SERVICES SHALL BE COORDINATED WITH TOWN OF ROCKLAND SEWER DEPARTMENT. CONTRACTOR SHALL STRICTLY ABIDE BY ALL SEWER DEPARTMENT REQUIREMENTS.

2. PROPOSED SEWER LINE AND SEWER COMPONENTS SHALL BE LOCATED A MINIMUM OF 10' FROM AND AT LEAST 18" BELOW WATER SUPPLY LINE. WHEREVER SEWER LINES MUST BE WITHIN 10' OF WATER SUPPLY, WATER LINE SHALL BE SLEEVED.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS AND MASSACHUSETTS LAND COURT.

I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.

COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

C. No. 1358

REGISTERED PROFESSIONAL ENGINEER

11/30/2021

DATE

COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

No. 46922

REGISTERED PROFESSIONAL LAND SURVEYOR

APPROVED BY

ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK

DATE

SCALE: 1" = 40'

0' 20' 40' 80' 120'

UTILITIES

CAVANARO CONSULTING

687 MAIN STREET

P.O. BOX 5175

NORWELL, MASSACHUSETTS 02061

PHONE: 781.659.8187

FAX: 781.659.8186

CONCORD MEADOWS

DEFINITIVE PUD PLAN

365 CONCORD STREET

ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC

P.O. BOX 1414

DUXBURY, MA 02331

PROJECT NO. : 19.103

SCALE : AS SHOWN

DATE : 7/12/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

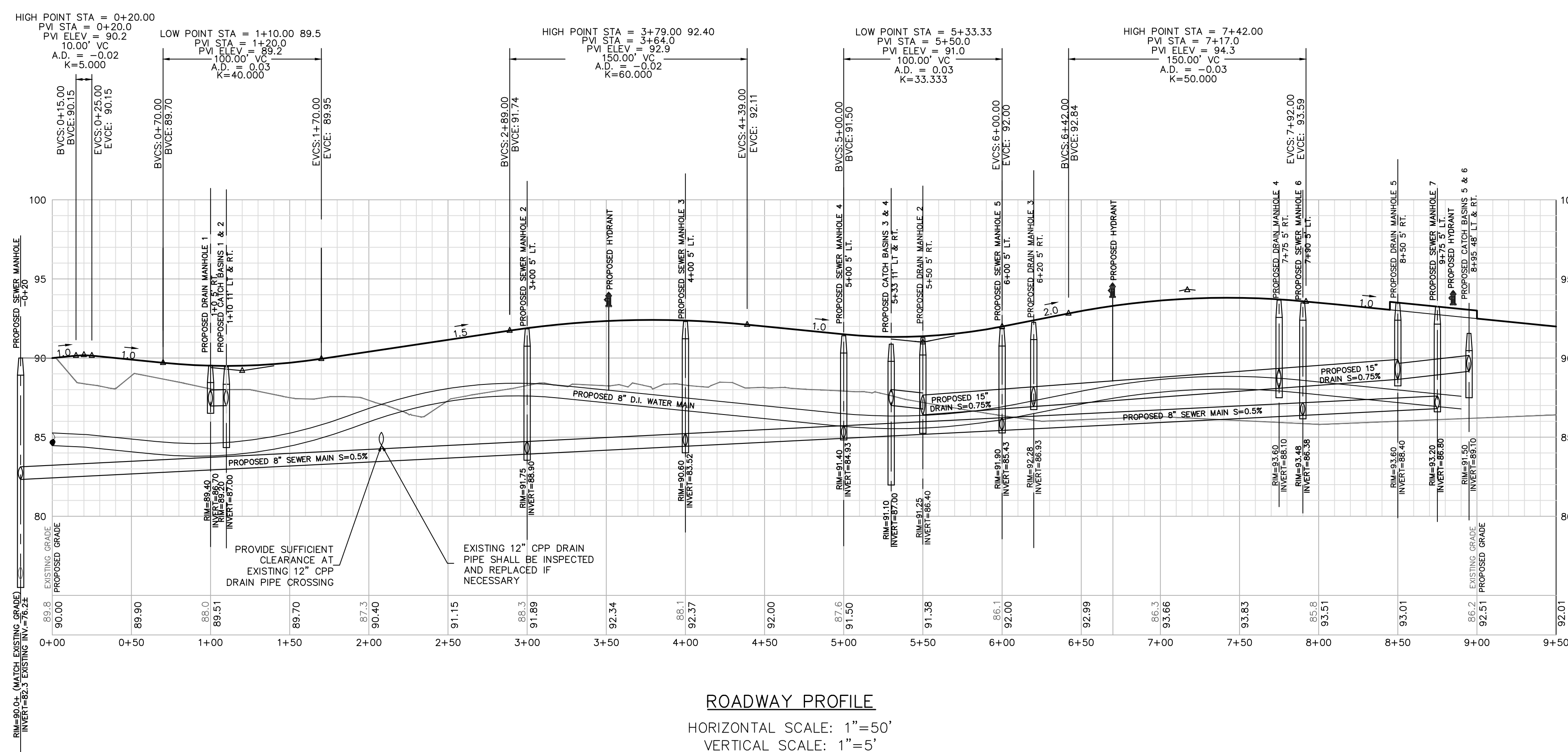
CHECKED BY : BPS/JCC

DRAWING NO.

UT

SHEET NO. 6 OF 13

FILENAME: W:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG



DRAWING REVISIONS		
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PLAN NO. 25023C0181K DATED JULY 6, 2021.

WETLANDS NOTES:

1. RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

SEWER NOTES:

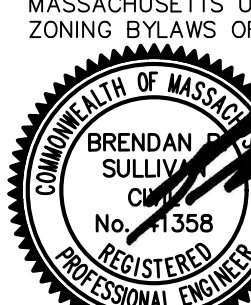
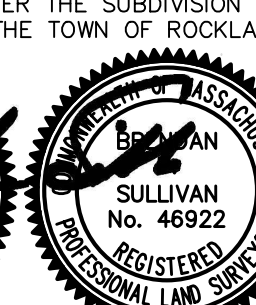
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11/30/2021

DATE

BRENDAN P. SULLIVAN, P.E., P.L.S.

**APPROVED BY
ROCKLAND PLANNING BOARD**

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK

DATE _____

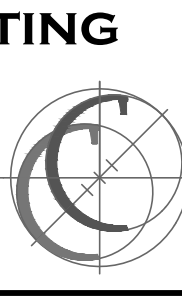
ROADWAY LAYOUT AND PROFILE

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061

PHONE: 781.659.8187

FAX: 781.659.8186



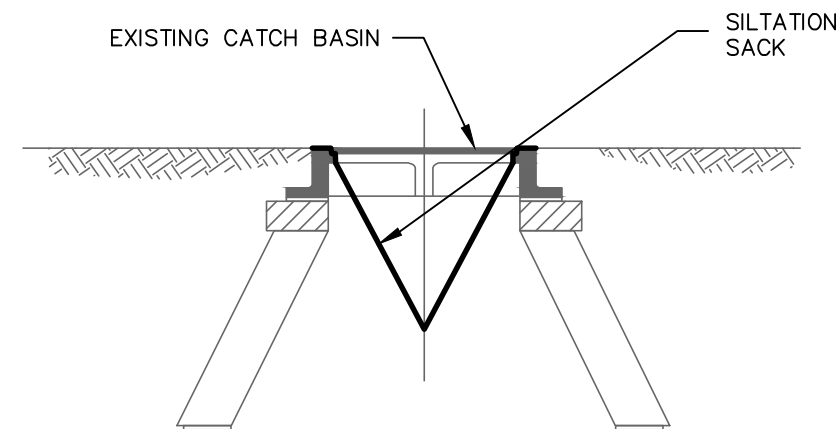
CONCORD MEADOWS DEFINITIVE PUD PLAN 365 CONCORD STREET ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	RLP
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCO	SHEET NO. 7 OF 13

FILENAME: \\c:\pr\2019\18103\DWG\DEF.SUB\DEF.CONROCK.DWG



NOT TO SCALE

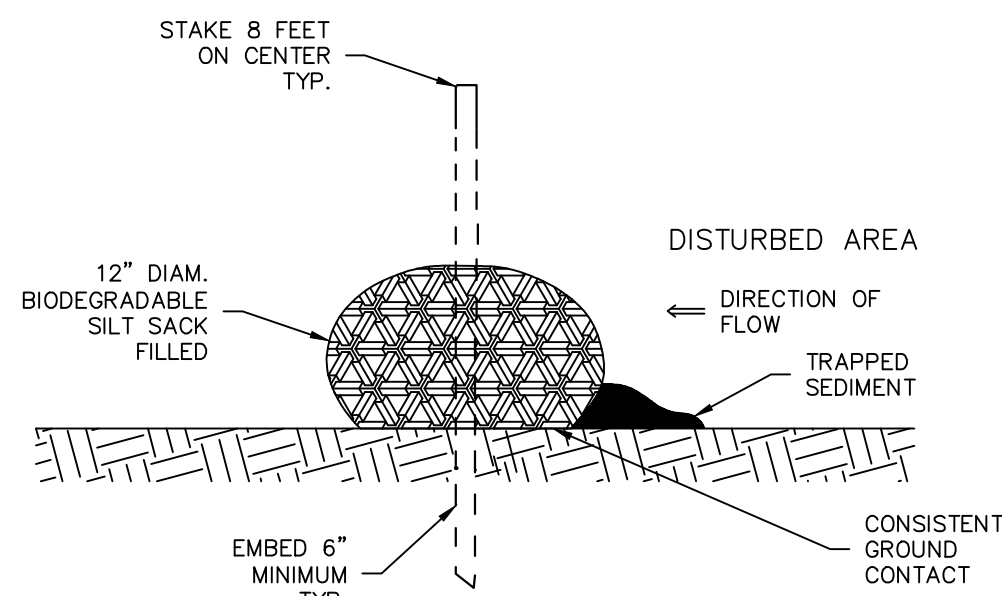
SILT SACK NOTES:

INSTALL SILTSACK IN ALL CATCH BASINS ADJACENT TO PROJECT VICINITY.

GRATE TO BE PLACED OVER SILTSACK.

SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

CATCH BASIN SEDIMENTATION DETAIL



PROPOSED SILT SOCK

NOT TO SCALE

SILT SOCK NOTES:

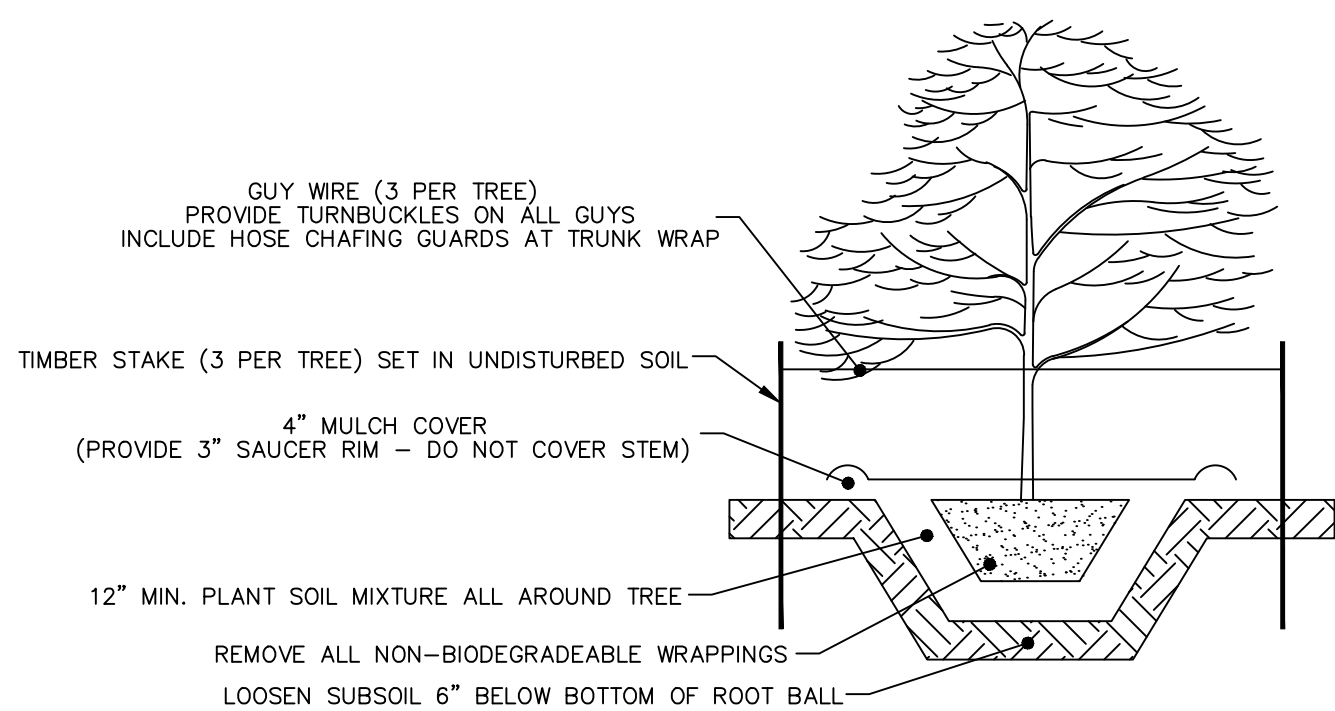
OVERLAP ENDS 2 FEET STAKED MINIMUM 8 FEET CENTER TO CENTER AND 6" MINIMUM DEPTH.

SILT SOCKS SHALL BE PLACED IN A ROW WITH ENDS LAPPING MINIMUM 2 FEET.

SILT SOCKS SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVING EVERY 8 L.F.

INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MAKE PROMPTLY AS REQUIRED.

SILT SOCKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

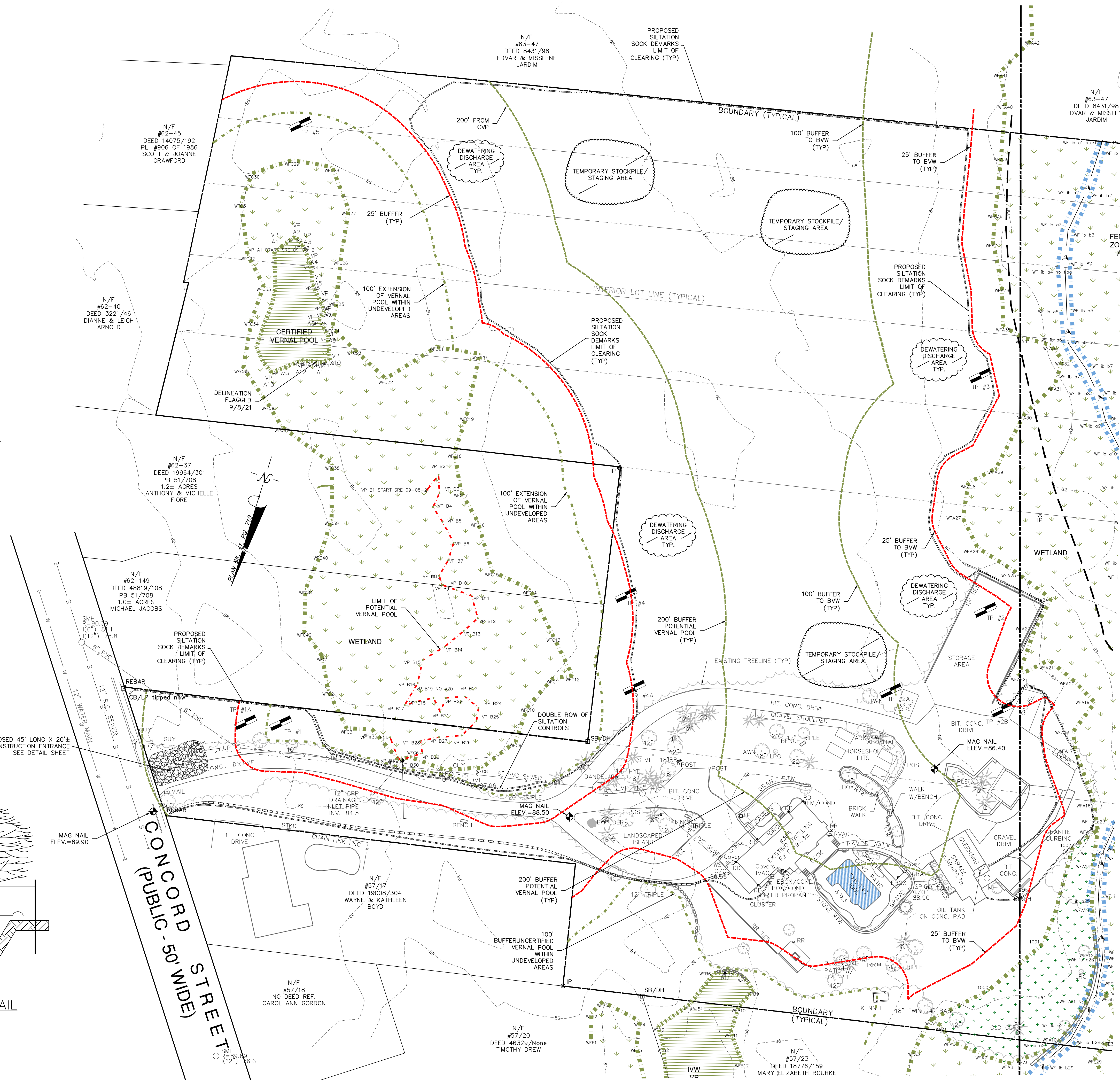


TREE PLANTING DETAIL

NOT TO SCALE

NOTE:

NEW TREES SHOULD ALSO BE SPECIFIED TO HAVE A MINIMUM HEIGHT OF TWELVE FEET WITH EIGHT FOOT HEAD CLEARANCE AND THREE INCH CAULPER AT 42 INCHES ABOVE GROUND.



DRAWING REVISIONS

5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS

ACTION DATE DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 2502300181K DATED JULY 6, 2021.

WETLANDS NOTES:

1. RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

GENERAL NOTES:

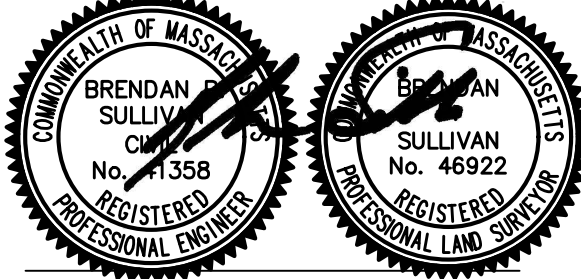
ALL INFILTRATION/DETENTION BASIN AREAS SHALL BE STAKED TO AVOID HEAVY MACHINERY.

ALL STOCKPILES SHALL HAVE PERIMETER ROW OF SILTATION SOCK 3 FEET OFF TOE OF SLOPE.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

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BRENDAN P. SULLIVAN, P.E., P.L.S.

11/30/2021
DATE

APPROVED BY ROCKLAND PLANNING BOARD

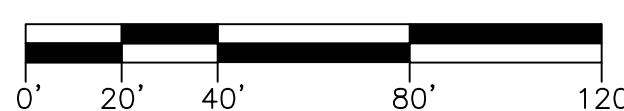
DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK DATE

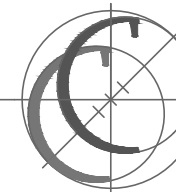
SCALE: 1" = 40'



EROSION CONTROL

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS DEFINITIVE PUD PLAN 365 CONCORD STREET ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

DRAWING NO.

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

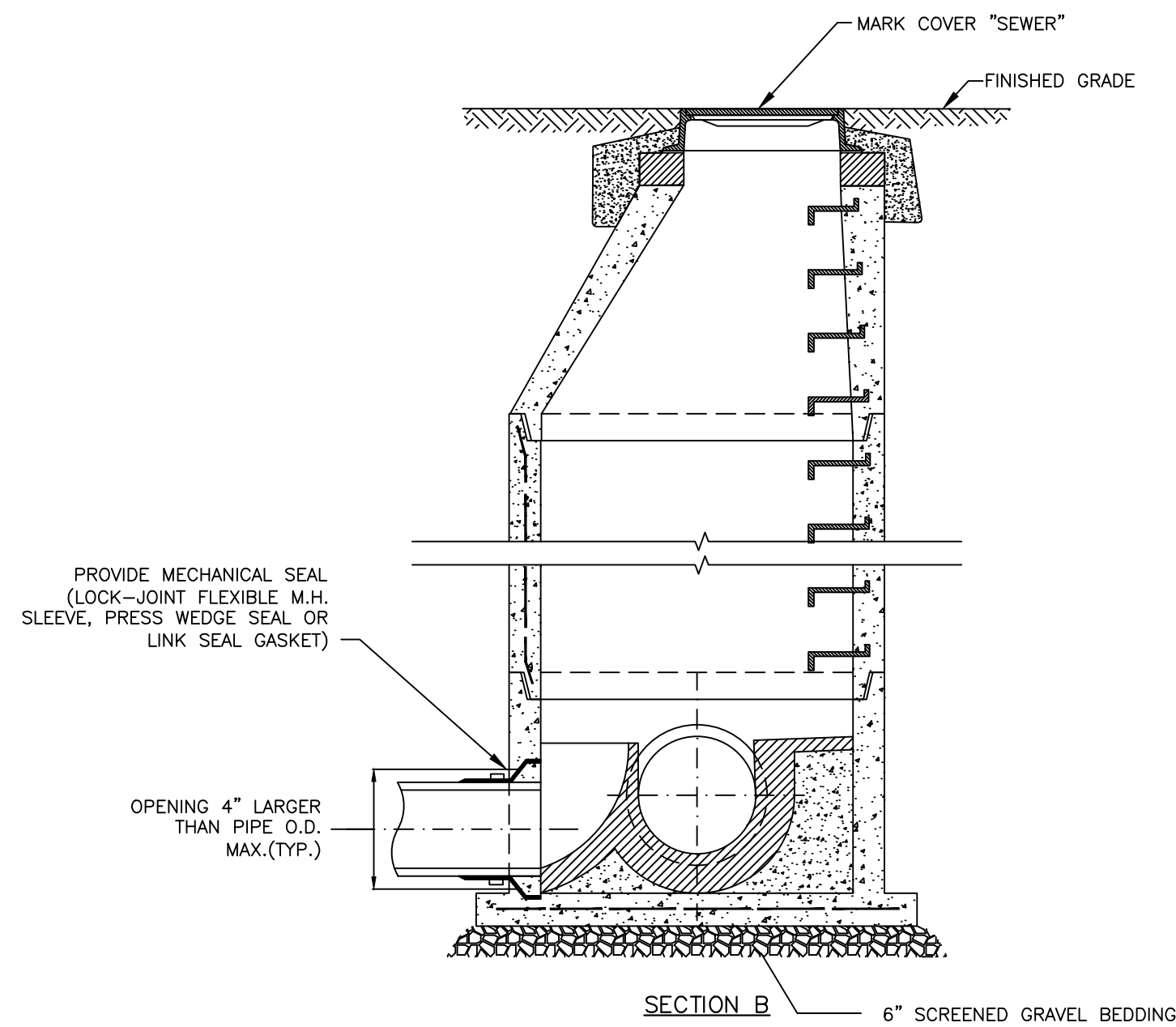
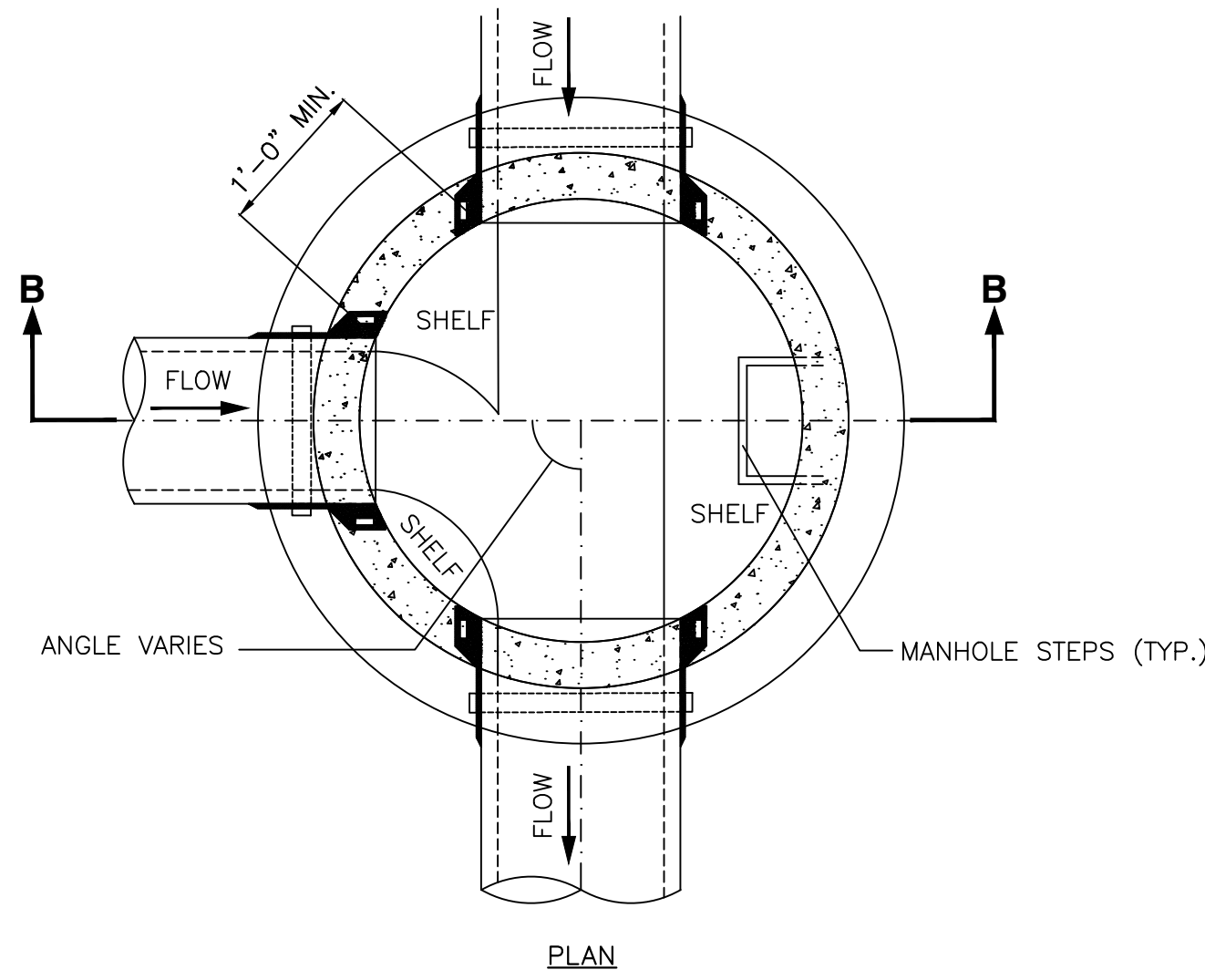
CHECKED BY : BPS/JCC

ER

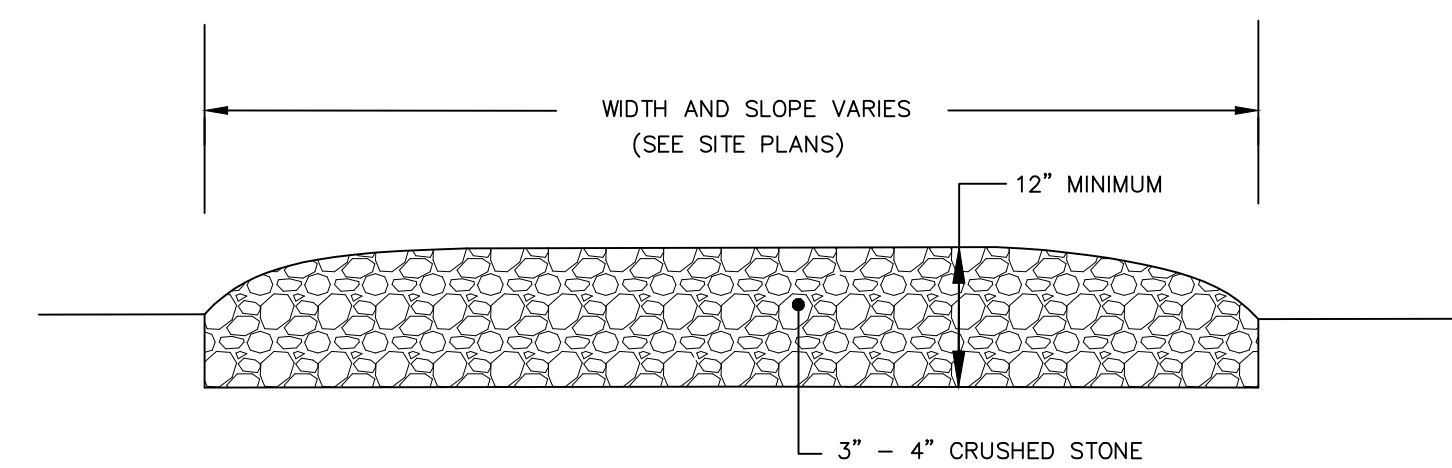
SHEET NO. 8 OF 13

FILENAME:

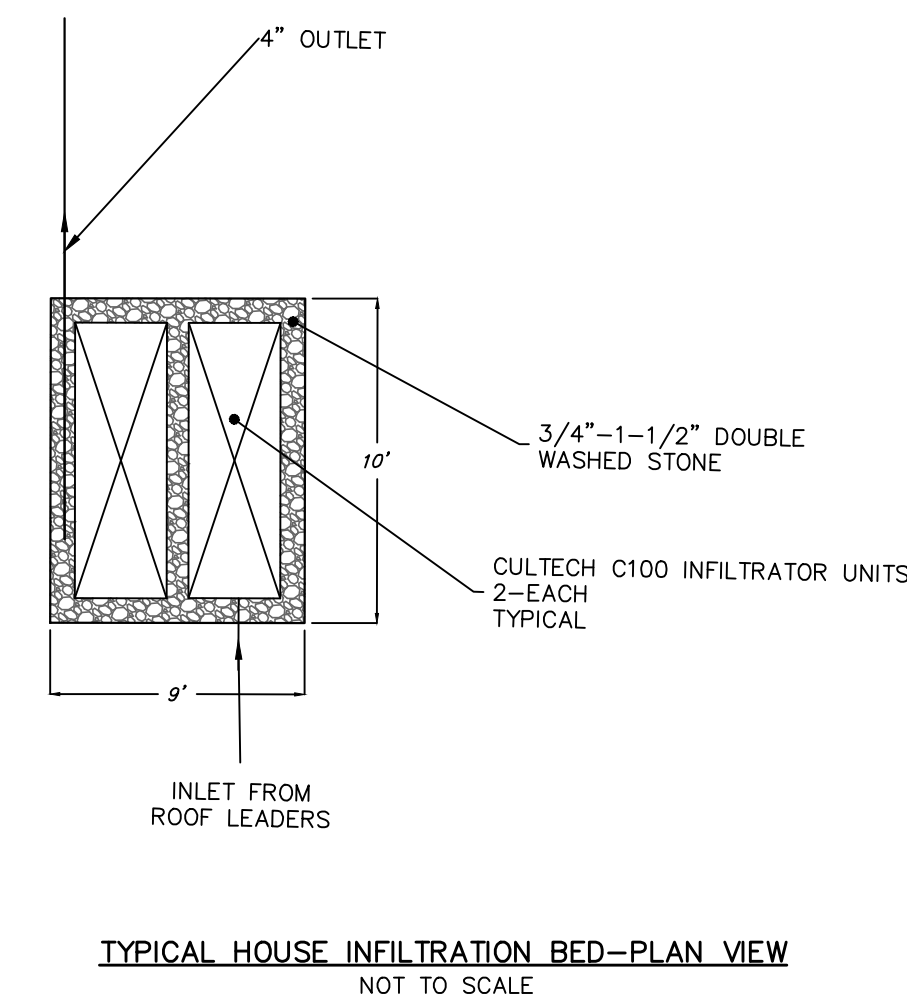
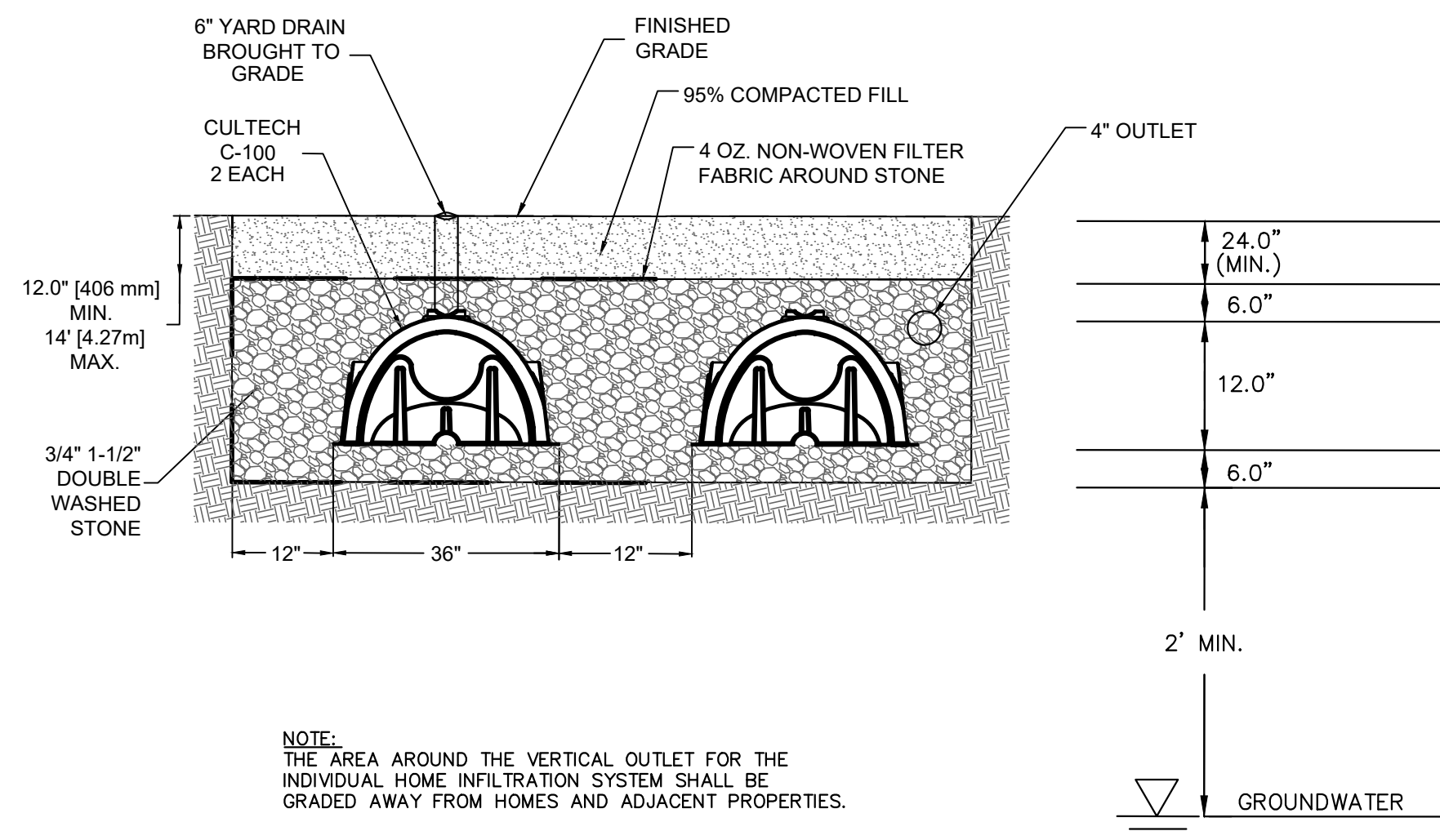
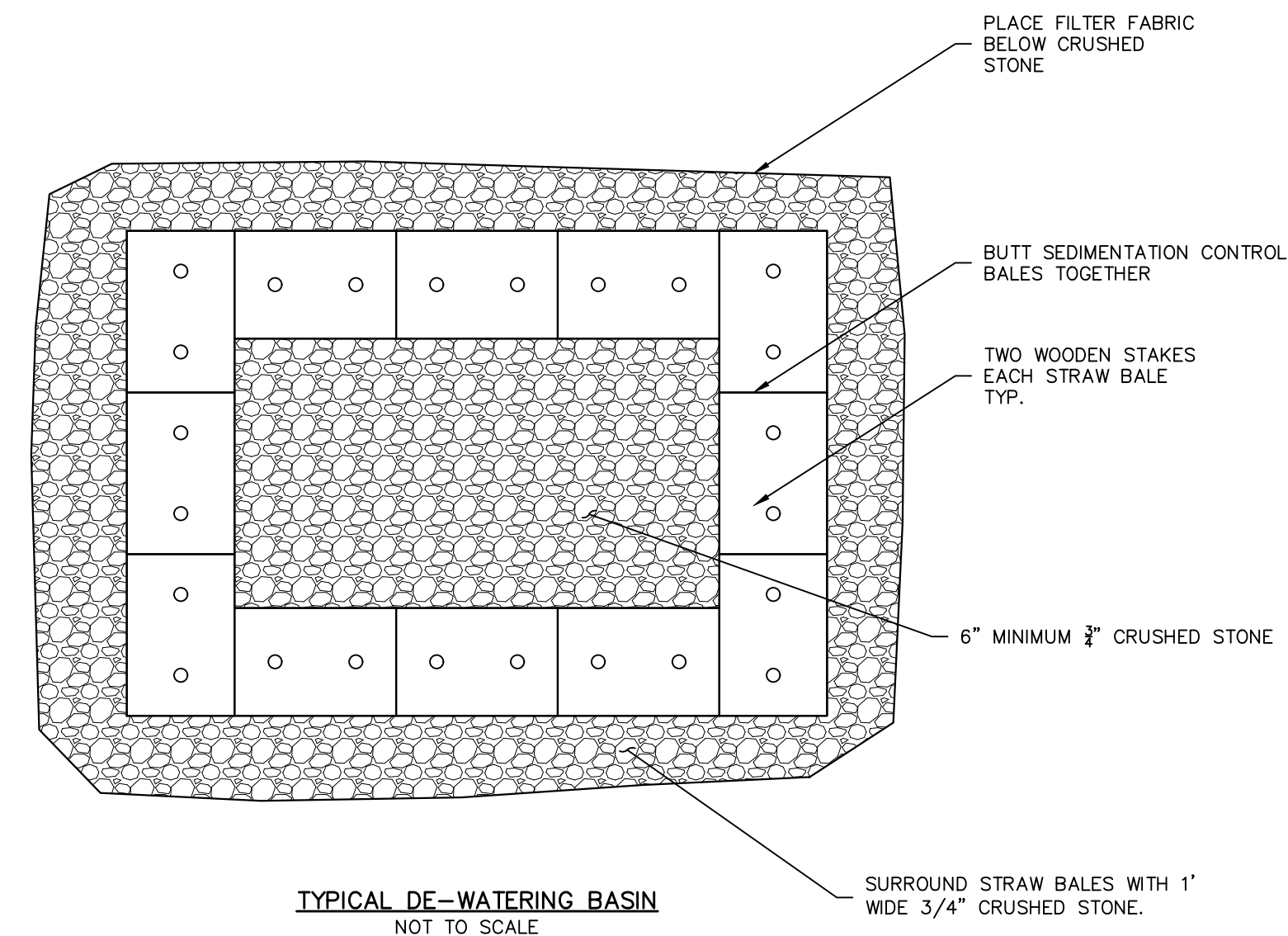
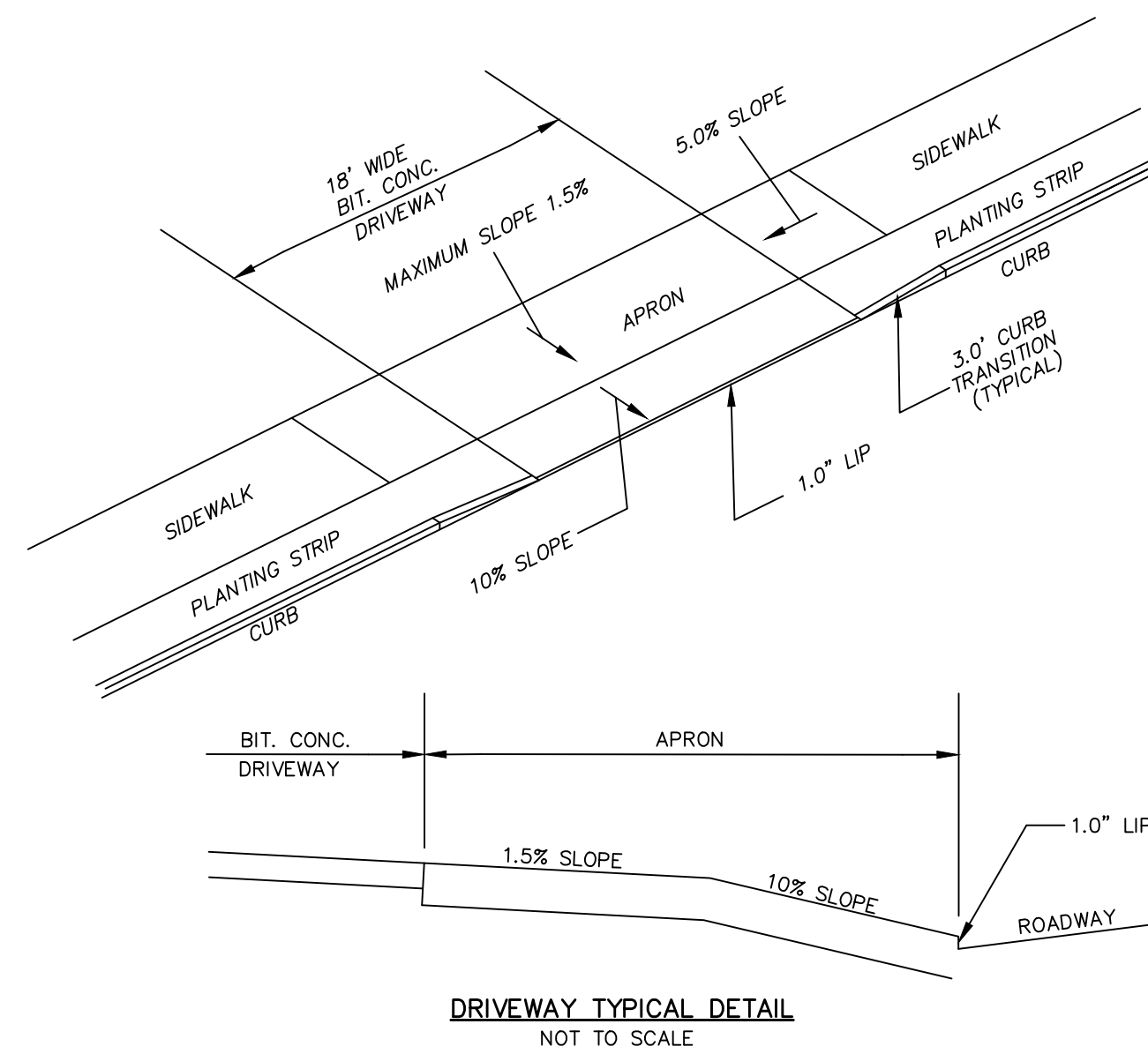
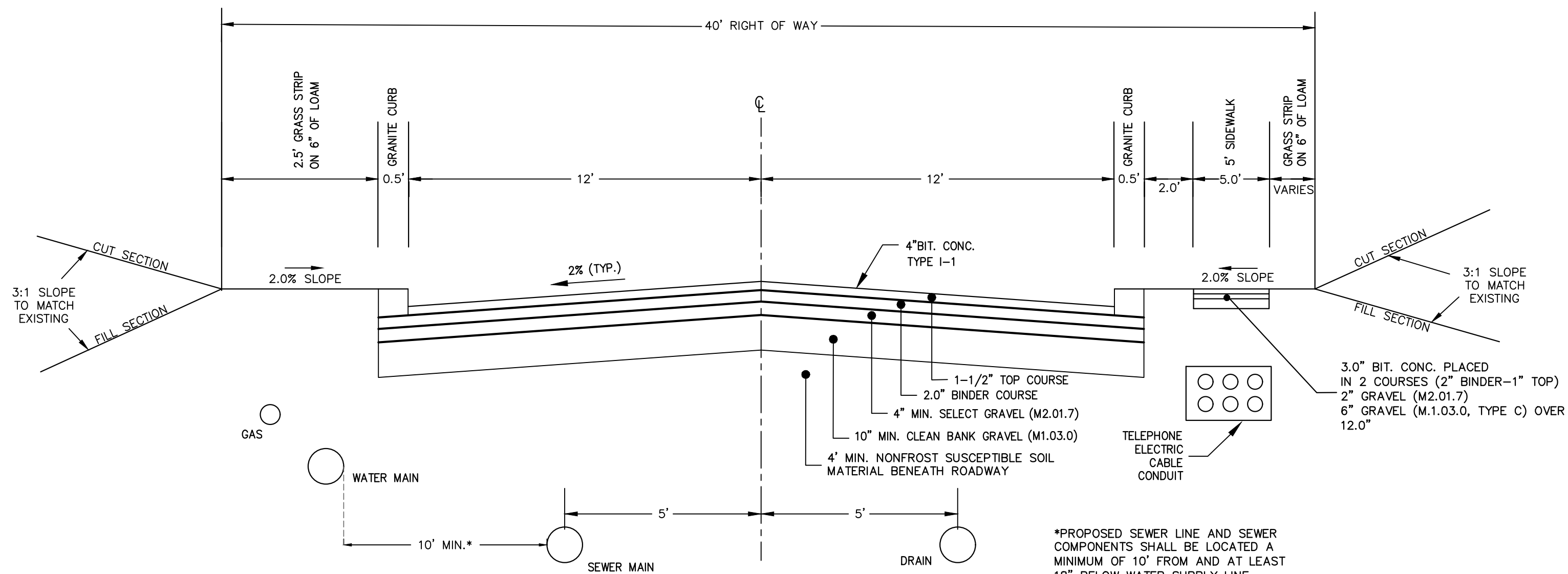
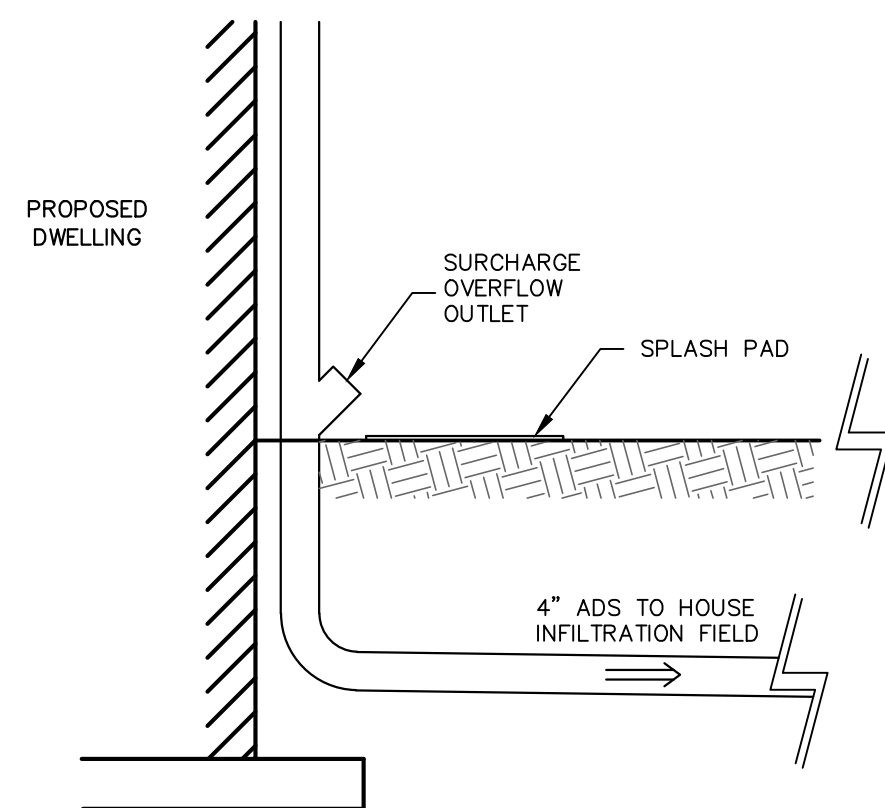
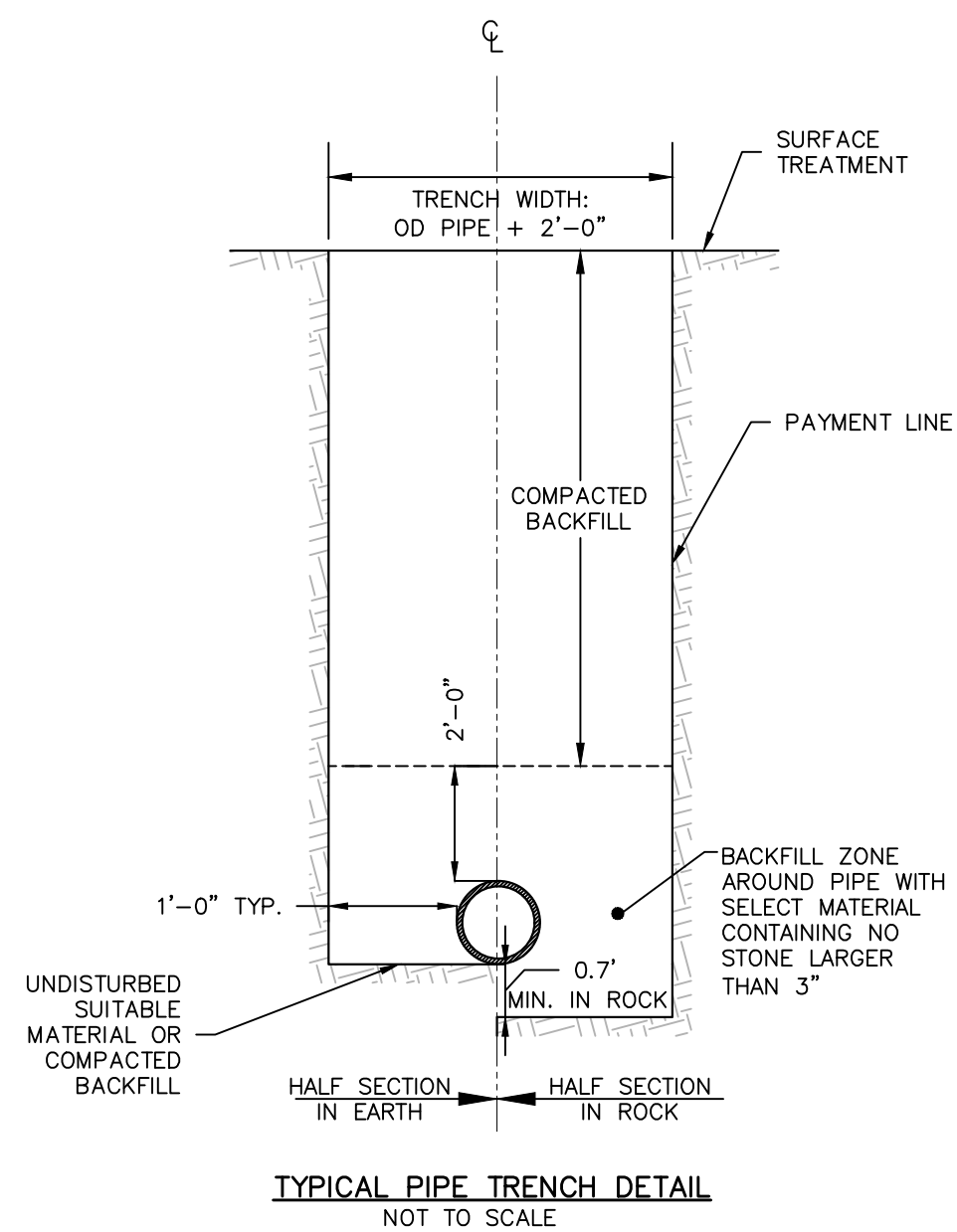
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PRECAST CONCRETE SEWER MANHOLE
N.T.S.



FOR REGISTRY USE ONLY



DRAWING REVISIONS

ACTION	DATE	DESCRIPTION
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.

WETLANDS NOTES:

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I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

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BRENDAN P. SULLIVAN, P.E., P.L.S.

11/30/2021

DATE

APPROVED BY

ROCKLAND PLANNING BOARD

DATE: _____

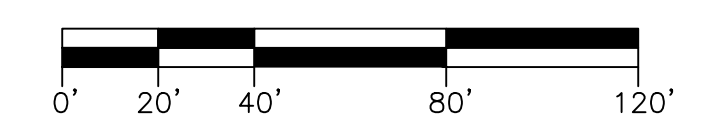
SIGNED: _____

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ROCKLAND TOWN CLERK

DATE

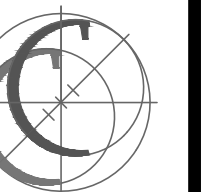
SCALE: 1" = 40'



DETAIL SHEET 1

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS DEFINITIVE PUD PLAN 365 CONCORD STREET ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

CHECKED BY : BPS/JCC

DRAWING NO.

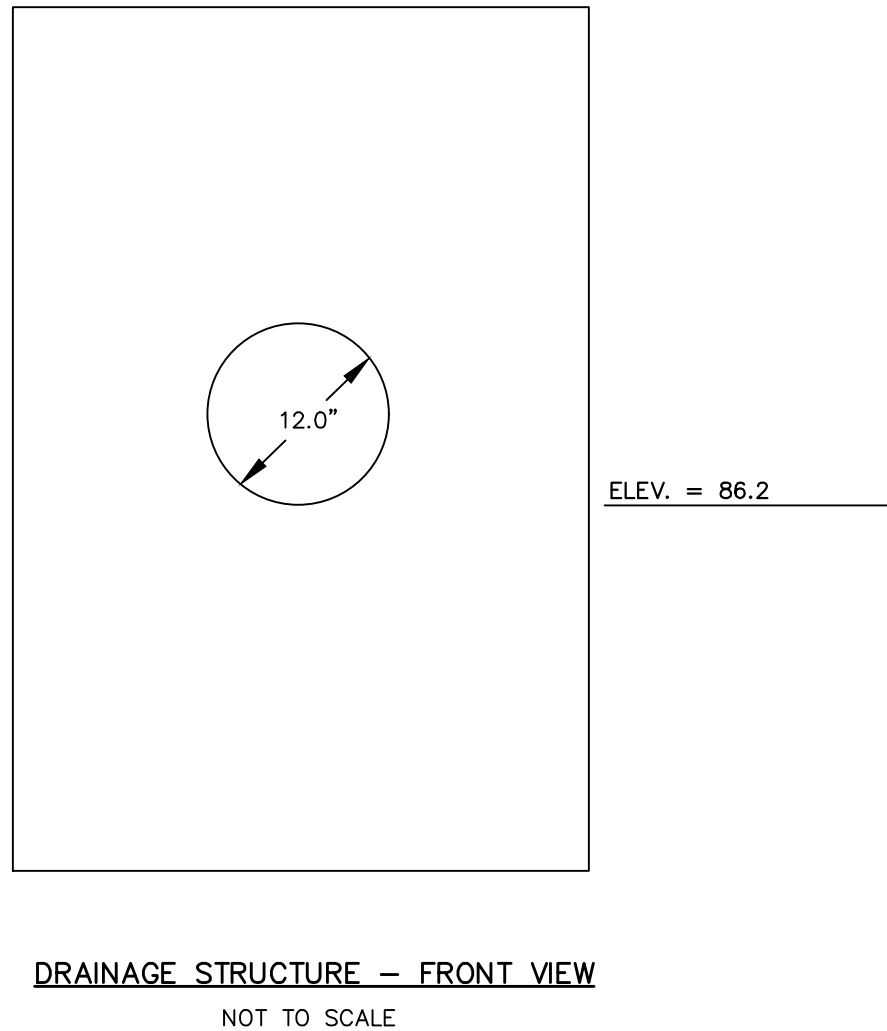
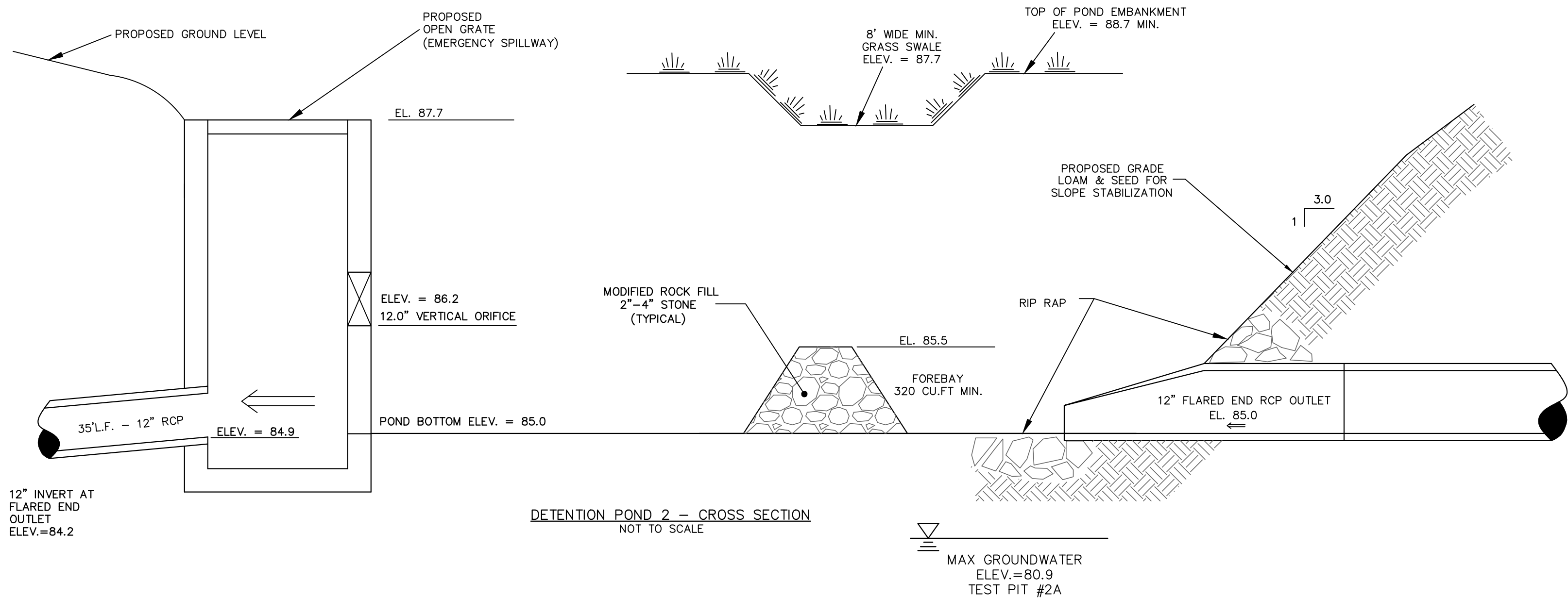
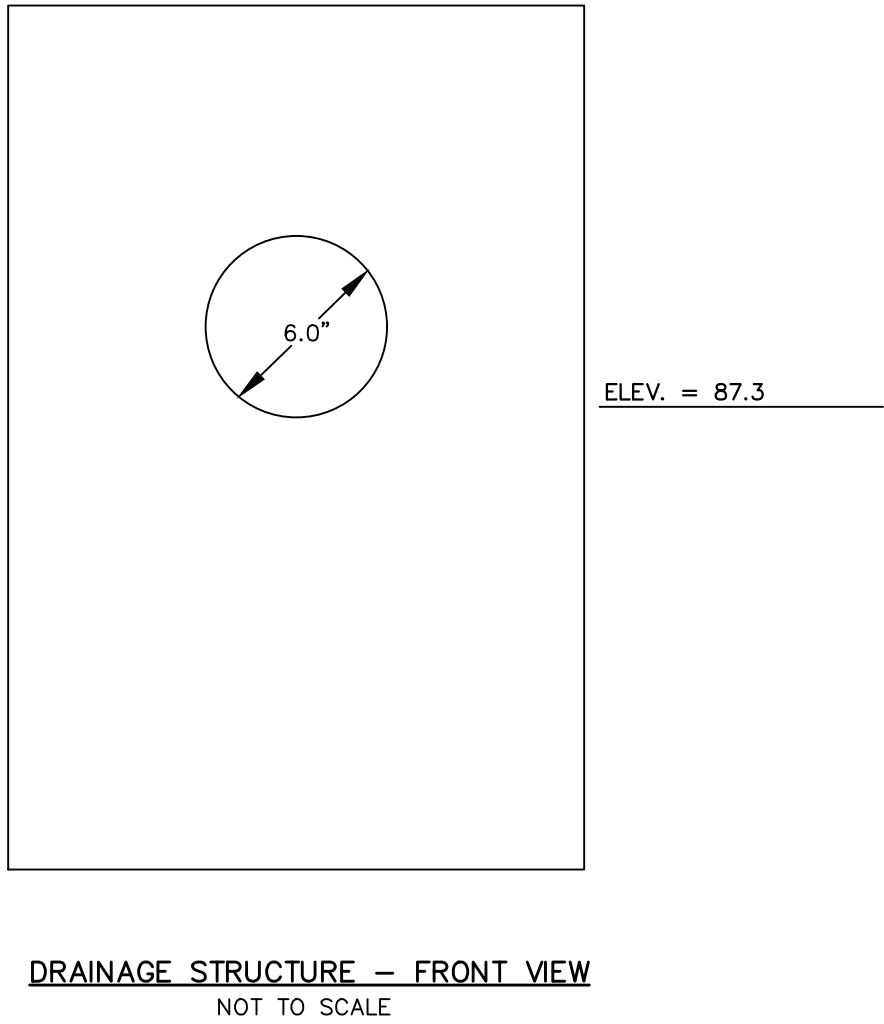
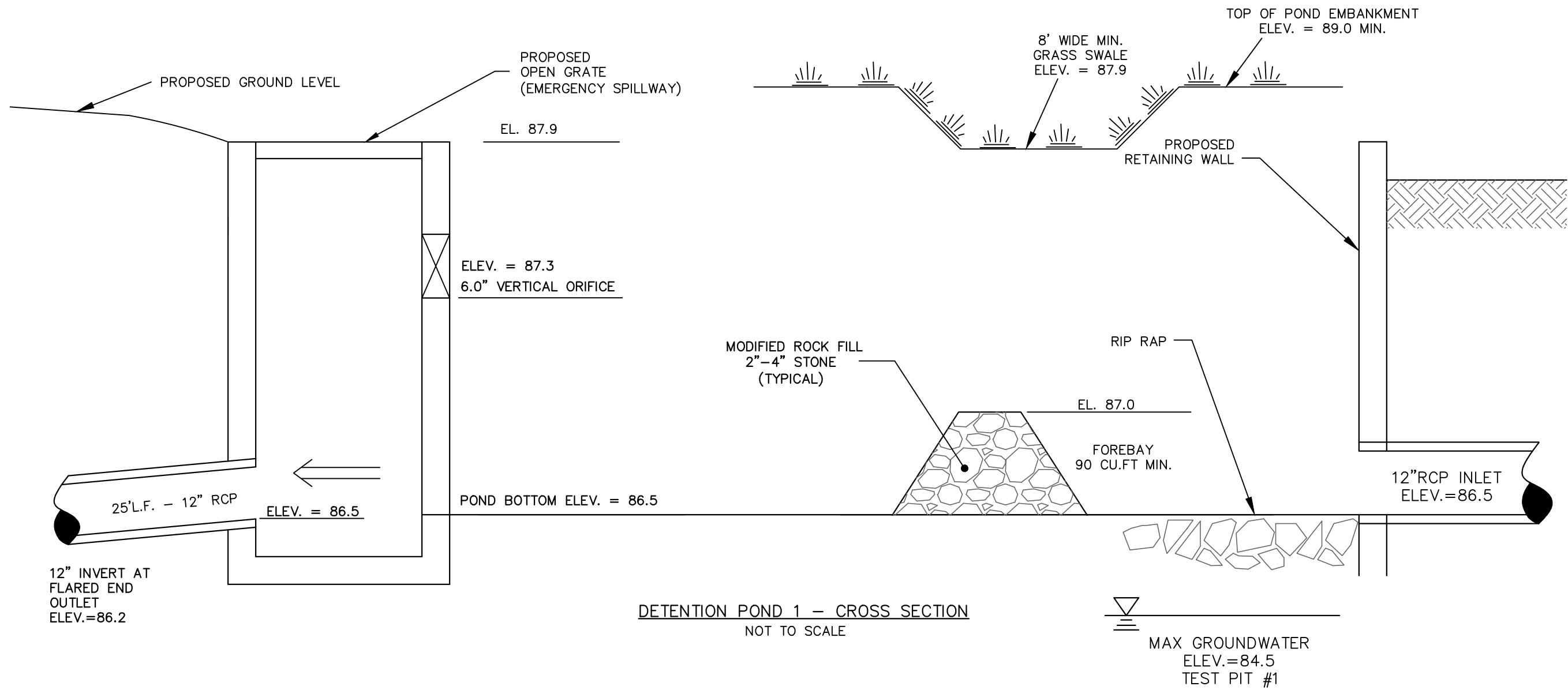
DT1

SHEET NO. 9 OF 13

FILENAME:

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DRAWING REVISIONS		
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
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1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

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BRENDAN P. SULLIVAN, P.E., P.L.S.

11/30/2021
DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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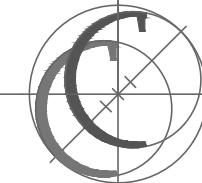
ROCKLAND TOWN CLERK

DATE

DETAIL SHEET 3

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	DT3
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	SHEET NO. 11 OF 13
CHECKED BY : BPS/JCC	FILENAME: w:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG

CONSTRUCTION PERIOD STORMWATER OPERATION AND MAINTENANCE PLAN AND CONSTRUCTION SEQUENCING

PROPOSED RESIDENTIAL DEVELOPMENT
365 CONCORD STREET – ROCKLAND, MA 02370
STORMWATER MANAGEMENT SYSTEM’S OWNER: CONROCK LLC
SYSTEM OWNER’S ADDRESS: 365 CONCORD STREET, ROCKLAND, MA 02370
PARTY RESPONSIBLE FOR OPERATIONS AND MAINTENANCE: OWNERS OF 365 CONCORD STREET, ROCKLAND, MA 02370

AS PART OF ANY INFRASTRUCTURE IMPROVEMENT THE SYSTEM MUST BE MAINTAINED IN ORDER TO WORK PROPERLY. THE FOLLOWING IS AN OPERATION AND MAINTENANCE PLAN TO FOLLOW PRIOR TO AND WHILE CONSTRUCTION ACTIVITIES ARE TAKING PLACE.

EMERGENCY CONTACT INFORMATION:

MATTHEW DACEY:
P.O. BOX 1414
DUXBURY, MA 02331
TELEPHONE: 781–585–4114
EMERGENCY TELEPHONE: 781–424–5290 (24/7 EMERGENCY RESPONSE)
EMAIL: MDACEY@CHAMPIONBUILDERS.COM

CONSTRUCTION SEQUENCING:

THE FOLLOWING SECTION PROVIDES CONSTRUCTION DETAILS AND HIGHLIGHTS THE CONSTRUCTION SEQUENCE AND TIMING OF EARTH MOVING ACTIVITIES.

1 INSTALLATION OF EROSION CONTROLS

EROSION AND SEDIMENTATION CONTROLS (SILT FENCE AND SILT SOCK) WILL BE INSTALLED WHERE NEEDED AND INSPECTED AT THE LIMITS OF THE WORK AREA PRIOR TO THE COMMENCEMENT OF EARTH MOVING ACTIVITIES.

2 CLEARING

THE PROJECT AREA WILL BE CLEARED OF DEBRIS AND BOULDERS. MATERIALS REMOVED FROM THE SITE WILL BE TRANSPORTED TO AN APPROPRIATE FACILITY OR WILL BE DISPOSED OF PROPERLY. NO LARGE BOULDERS WILL BE BURIED ON THE SITE. ALL CLEARED VEGETATION WILL BE REMOVED FROM THE PROJECT SITE OR MULCHED AND STOCKPILED FOR FUTURE USE ON THE SITE.

3 ROUGH GRADING

DURING THIS PHASE OF CONSTRUCTION, ROUGH GRADES WILL BE ESTABLISHED FOR THE PROJECT SITE. IF SUITABLE TOPSOIL IS FOUND, IT WILL BE REMOVED AND STOCKPILED IN AN UPLAND AREA OUTSIDE OF THE 100-FOOT BUFFER ZONE OF IDENTIFIED WETLANDS. THE STOCKPILED TOPSOIL WILL BE STORED UNTIL READY FOR RE–USE ON SITE.

4 DRAINAGE SYSTEM CONSTRUCTION

AFTER ROUGH GRADING IS COMPLETE, THE DRAINAGE COLLECTION, CONVEYANCE AND DISCHARGE AREAS WILL BE INSTALLED. THE DRAINAGE SYSTEM DESIGN AND STRUCTURES FOR THE PROPOSED DEVELOPMENT WILL FOLLOW THE DEPARTMENT OF ENVIRONMENTAL PROTECTION’S BEST MANAGEMENT PRACTICE STANDARDS.

5 UTILITY INSTALLATION

IN THIS PHASE OF CONSTRUCTION, UNDERGROUND UTILITIES INCLUDING WATER, SEWER, GAS, POWER, TELECOMMUNICATIONS, ETC. WILL BE INSTALLED.

6 ROADWAY PAVING

DURING THIS PHASE OF CONSTRUCTION, THE ENTRANCE AND EXIT ROADWAYS FOR THE DEVELOPMENT WILL BE PAVED TO BINDER COURSE ONLY. FINAL PAVING WILL BE DONE AFTER MOST OF THE HOME SITES ARE DEVELOPED AT THE DISCRETION OF THE DEVELOPER.

7 FOUNDATION AND STRUCTURE CONSTRUCTION

THIS PHASE OF CONSTRUCTION CONSISTS OF INSTALLATION OF THE FOUNDATIONS AND CONSTRUCTION OF THE BUILDINGS. THE HOME SITES WILL BE MADE AVAILABLE FOR CONSTRUCTION AND OCCUPANCY IN PHASES. THE PHASING WILL BE DESIGNED PRIMARILY TO CONTROL CONSTRUCTION IMPACTS TO THE SITE AND ALSO CONSIDER CURRENT MARKET DEMAND FOR HOME SALES.

8 INSTALLATION OF AMENITIES

AMENITIES SUCH AS SIGNAGE AND LANDSCAPING WILL BE INSTALLED OR COMPLETED AS REQUIRED FOR SAFETY AND AS THE HOMES BECOME OCCUPIED.

9 SITE STABILIZATION

THE FINAL PHASE OF THE PROJECT IS THE RESTORATION AND STABILIZATION OF ALL EXPOSED SURFACES. DISTURBED AREAS WILL BE LANDSCAPED OR SEEDED AS NECESSARY ONLY AFTER ALL OTHER CONSTRUCTION IS FINAL. IN THE EVENT THAT WEATHER CONDITIONS PREVENT FINAL RESTORATION, TEMPORARY EROSION AND SEDIMENTATION MEASURES WILL BE EMPLOYED UNTIL THE WEATHER IS SUITABLE FOR FINAL CLEANUP. SHOULD FINAL GROUND STABILIZATION BE POSTPONED DUE TO WINTER CONDITIONS, THE EXPOSED GROUND SHALL BE COVERED IN STRAW TO PREVENT EROSION. STRAW COVER SHALL BE RESTORED AND MAINTAINED UNTIL FINAL VEGETATED COVER CAN BE ACHIEVED. A FINAL INSPECTION WILL ENSURE THAT THE PROJECT SITE IS CLEARED OF ALL PROJECT DEBRIS AND THAT EROSION AND SEDIMENTATION CONTROLS ARE FUNCTIONING PROPERLY. EROSION AND SEDIMENTATION CONTROLS WILL NOT BE REMOVED UNTIL THE SITE IS STABILIZED, THE FINAL INSPECTION IS COMPLETE AND THE ROCKLAND CONSERVATION AGENT HAS APPROVED THE EROSION CONTROL REMOVAL.

EXTREME WEATHER CONDITIONS:

IN THE ANTICIPATION OF, OR DURING A HEAVY RAIN EVENT OR DURING A RAIN EVENT IN COMBINATION WITH SNOWMELT, ALL STORMWATER CONTROLS SHALL BE CHECKED TO ENSURE ADEQUATE PROTECTION AND CAPACITY IS AVAILABLE TO PROTECT ALL EXPOSED SLOPES AND BUFFER ZONES.

STORMWATER OPERATION AND MAINTENANCE DURING CONSTRUCTION:

SEDIMENT AND EROSION CONTROL

SILT SOCKS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL EVENT. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REPAIR SCOURED AREAS ON THE BACK SIDE OF THE SILT SOCK AT THIS TIME TO PREVENT FUTURE PROBLEMS.

SHOULD THE FABRIC OF THE SILT SOCK TEAR, DECOMPOSE OR OTHERWISE BECOME INEFFECTIVE, REPLACE IT WITHIN 24 HOURS OF DISCOVERY.

REMOVE SILT DEPOSITS ONCE THEY REACH 20 TO 30 PERCENT OF THE HEIGHT OF THE SILT SOCK TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT AND TO REDUCE PRESSURE ON THE FENCE. CARE SHOULD BE TAKEN TO AVOID UNDERMINING THE FENCE DURING CLEANOUT PROCESS.

SILT SOCKS ARE TO BE REMOVED UPON STABILIZATION OF THE CONTRIBUTING DRAINAGE AREA. ACCUMULATED SEDIMENT MAY BE SPREAD TO FORM A SURFACE FOR TURF OR OTHER VEGETATION ESTABLISHMENT, OR DISPOSED OF ELSEWHERE. THE AREA SHOULD BE RESHAPED TO PERMIT NATURAL DRAINAGE.

CRUSHED STONE CONSTRUCTION ENTRANCE SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS. ANY BUILDUP OF MATERIAL WITHIN THE APRON SHALL BE REMOVED OFFSITE AND REPLACED WITH CLEAN CRUSHED STONE AS NEEDED.

ANY SEDIMENT TRACKED FROM THE CONSTRUCTION ENTRANCE ONTO THE STREET DURING CONSTRUCTION SHALL BE REMOVED IMMEDIATELY AND THE CONSTRUCTION ENTRANCE MUST BE ADJUSTED AS NEEDED TO PREVENT ADDITIONAL SEDIMENT TRACKING.

A MINIMUM OF 100 LINEAR FEET OF SILT SOCK, 50 LINEAR FEET OF SILTATION FABRIC, 20 STRAW BALES AND 15 STAKES SHALL BE KEPT ON SITE AT ALL TIMES TO MAINTAIN THE INSTALLED EROSION CONTROLS IN GOOD REPAIR AND PROVIDE STRAW FOR SURFACE COVER WHEN NEEDED.

INFILTRATION/DETENTION SYSTEMS

THE FOLLOWING WORK SHALL BE DONE TO STABILIZE THE SITE PRIOR TO INSTALLING THE SUBSURFACE STRUCTURES:

- DO NOT ALLOW RUNOFF FROM ANY DISTURBED AREAS ON THE SITE TO FLOW TO THE SUBSURFACE STRUCTURES.
- ROPE OFF THE AREA WHERE THE SUBSURFACE STRUCTURES ARE TO BE PLACED.
- ACCOMPLISH ANY REQUIRED EXCAVATION WITH EQUIPMENT PLACED JUST OUTSIDE THE AREA. IF THE SIZE OF THE AREA INTENDED FOR EXFILTRATION IS TOO LARGE TO ACCOMMODATE THIS APPROACH, USE TRUCKS WITH LOW–PRESSURE TIRES TO MINIMIZE COMPACTION. DO NOT ALLOW ANY OTHER VEHICLES WITHIN THE AREA TO BE EXCAVATED.
- KEEP THE AREA ABOVE AND IMMEDIATELY SURROUNDING THE SUBSURFACE SYSTEM ROPED OFF TO ALL CONSTRUCTION VEHICLES UNTIL THE FINAL TOP SURFACE IS INSTALLED.
- AT NO TIME SHALL THE AREA FOR THE INFILTRATION SYSTEM BE USED AS A TEMPORARY SEDIMENT BASIN. STOCKPILES SHALL BE PLACED AWAY FROM THE SUBSURFACE INFILTRATION SYSTEM AND SEDIMENTATION FENCES SHALL BE PLACED AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE ACCUMULATION OF SEDIMENT WITHIN THE NATIVE SOILS.

ALL INFILTRATION AREAS SHALL BE EXCAVATED AND INSTALLED AFTER THE CONSTRUCTION OF THE FOUNDATION SYSTEMS. NO HEAVY EQUIPMENT SHALL TRAVERSE THE PROPOSED INFILTRATION AREAS BEFORE OR AFTER INSTALLATION.

DUST CONTROL

SPRINKLE WATER AS NECESSARY TO CONTROL DUST DURING CONSTRUCTION.

MATERIAL STOCKPILING

STOCKPILES OF MATERIAL MUST BE PLACED OUTSIDE ALL WETLAND RESOURCE AREA BUFFERS. IF LEFT OVERNIGHT, MATERIAL STOCKPILING MUST BE PROTECTED FROM THE WEATHER.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING BMP’S WILL BE IMPLEMENTED IN ORDER TO PREVENT POLLUTION DURING CONSTRUCTION:

PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.

ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER’S SPECIFICATIONS.

IF PORTABLE SANITARY UNITS ARE USED, SANITARY WASTE WILL BE REMOVED AS NECESSARY TO AVOID OVERFILLING.

ALL PAINT AND OTHER HAZARDOUS WASTE MATERIALS WILL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS MATERIAL WILL NOT BE DISCHARGED INTO THE PUBLIC STORMWATER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE MANUFACTURER’S SPECIFICATIONS.

IF SPRAY GUNS ARE USED, THEY WILL BE CLEANED ON A REMOVABLE TARP.

DRAWING REVISIONS		
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.

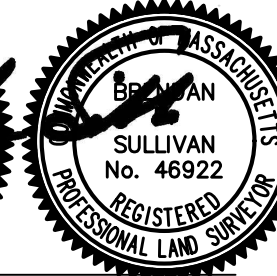
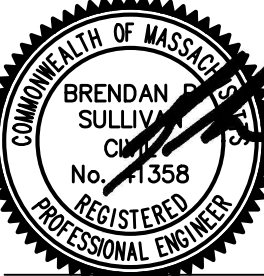
WETLANDS NOTES:

1. RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273–0400 ISSUED ON JANUARY 11, 2019.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS AND MASSACHUSETTS LAND COURT.

I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.



11/30/2021

DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

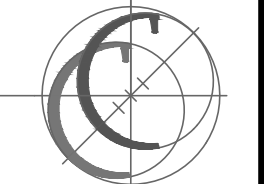
ROCKLAND TOWN CLERK

DATE

DETAIL SHEET 4

CAVANARO CONSULTING

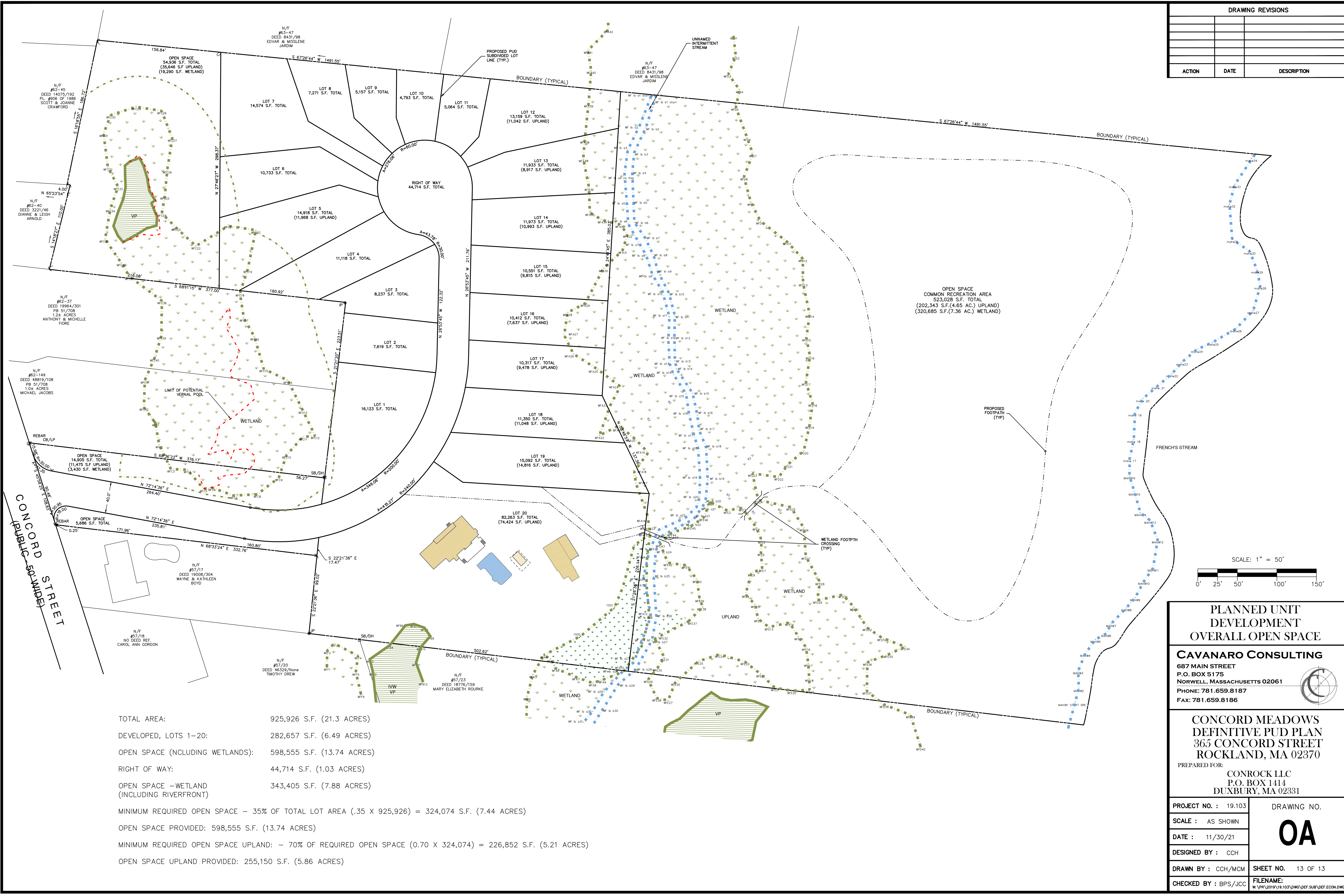
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO. DT4
SCALE : AS SHOWN	
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	SHEET NO. 12 OF 13
CHECKED BY : BPS/JCC	FILENAME: W:\PRJ\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG



DRAWING REVISIONS		
ACTION	DATE	DESCRIPTION

TOTAL AREA:	925,926 S.F. (21.3 ACRES)
DEVELOPED, LOTS 1–20:	282,657 S.F. (6.49 ACRES)
OPEN SPACE (NCLUDING WETLANDS):	598,555 S.F. (13.74 ACRES)
RIGHT OF WAY:	44,714 S.F. (1.03 ACRES)
OPEN SPACE –WETLAND (INCLUDING RIVERFRONT)	343,405 S.F. (7.88 ACRES)
MINIMUM REQUIRED OPEN SPACE – 35% OF TOTAL LOT AREA (.35 X 925,926) = 324,074 S.F. (7.44 ACRES)	
OPEN SPACE PROVIDED: 598,555 S.F. (13.74 ACRES)	
MINIMUM REQUIRED OPEN SPACE UPLAND: – 70% OF REQUIRED OPEN SPACE (0.70 X 324,074) = 226,852 S.F. (5.21 ACRES)	
OPEN SPACE UPLAND PROVIDED: 255,150 S.F. (5.86 ACRES)	

PLANNED UNIT
DEVELOPMENT
OVERALL OPEN SPACE

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
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P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	OA
DATE : 11/30/21	
DESIGNED BY : CCH	SHEET NO. 13 OF 13
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCC	FILENAME: w:\VPR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG