



LEFT SIDE ELEVATION



FRONT ELEVATION

AREA: 1855 SQ FT



REAR ELEVATION

BUILDING INFORMATION AND STATS;		
SIDING: 5" EXP HARDBOARD PLANK CEDAR SHAKES BOARD AND BATTEN AT FRONT GABLE TRIM: LP SMARTSIDE WINDOWS: VINYL CLAD DOORS: THERMA TRU SHINGLES: 30 YEAR ARCHITECTURAL METAL ROOF ACCENT AT FRONT PORCH		
ENERGY COMPLIANCE DETAILS & PATH		
MEETS OR EXCEEDS PRESCRIPTIVE REQUIREMENTS PER INTERNATIONAL RESIDENTIAL CODE (2020 IRC) CLIMATE ZONE - 5		
COMPONENT	REQUIRED	PROVIDED
1. FENESTRATION U-FACTOR	.3	.3
2. CEILING R-FACTOR	49	49
3. 1ST & 2ND FLOOR WOOD FRAMED WALL R-VALUE	20 OR 13+5	HIGH DENSITY 21 21/BAND JSTS
4. BASEMENT CONCRETE WALL R-VALUE	15 CONTINUOUS OR 19 CAVITY FULL HEIGHT	R-15 CONTINUOUS FULL HEIGHT R-19 AT WALKOUT
5. FLOOR R-VALUE	30	30



RIGHT SIDE ELEVATION

CONCEPT PLAN 1



MORABITO ARCHITECTS
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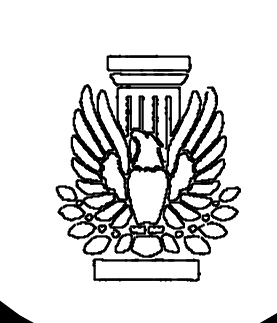
PROJECT:
520 CONCORD STREET

CLIENT:
MALL STREET DEVELOPMENT

DRAWING:
EXTERIOR ELEVATIONS FOR
CONCEPT PLAN 1

DRAWN: JTL	CHECKED:
DATE: 1-10-22	
SCALE: 1/4" = 1'-0"	
JOB NO.: 2204430	
SHEET:	

1
OF 4 SHEETS



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PROJECT:
520 CONCORD STREET

CLIENT:
MALL STREET DEVELOPMENT

DRAWING:
FLOOR PLANS FOR CONCEPT PLAN 1

DRAWN:
JTL

CHECKED:

DATE:
1-10-22

SCALE:
1/4" = 1'-0"

JOB NO.:
22M4130

SHEET:

2

OF 4 SHEETS

The Lower Level Plan shows a large 2-CAR GARAGE (26'10x22'4) on the left. To its right is a MECH. (mechanical) room, followed by a BATH and a LAUNDRY room. The ENTRY is centrally located with stairs leading UP 7R and UP 8R. To the right of the entry is a large REC ROOM (recreation room). The plan also shows an AREA WELL and an EGRESS point. Dimensions include 46'-0" for the overall width and 24'-0" for the overall depth. A dashed line indicates the LINE OF WALL ABOVE.

LOWER LEVEL PLAN

AREA: 600 SQ FT

The Upper Level Floor Plan features a MASTER BEDROOM (14x13) with a WIC (wardrobe closet) and a private M.BTH (master bathroom). It also includes BEDROOM 1 (11x10) and BEDROOM 2 (11x9'4). The KITCHEN (11'8x8'4) is equipped with a 3/4 ISLAND and a REF (refrigerator). The DINING area (12x13'4) is adjacent to the kitchen. The FAMILY RM (14'4x13'8) has an OPTIONAL GAS FIREPLACE. The plan also shows a BATH, a HALL, a FOYER, a COVERED PORCH, and a TRANSOM. Stairs lead DN 7R and UP 8R. Dimensions include 44'-0" for the overall width and 30'-0" for the overall depth. A dashed line indicates the LINE OF WALL BELOW.

UPPER LEVEL FLOOR PLAN

AREA: 1255 SQ FT

CONCEPT PLAN 1



LEFT SIDE ELEVATION



FRONT ELEVATION

AREA: 1967 SQ FT

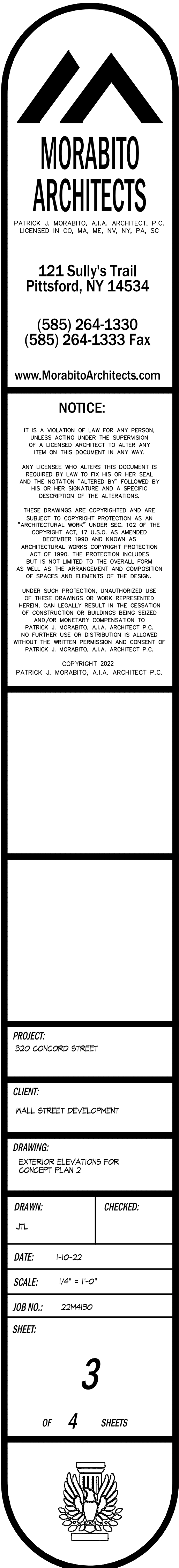


REAR ELEVATION



RIGHT SIDE ELEVATION

BUILDING INFORMATION AND STATS;		
SIDING: 5" EXP HARDBOARD PLANK CEDAR SHAKES BOARD AND BATTEN AT FRONT GABLE TRIM: LP SMARTSIDE WINDOWS: VINYL CLAD DOORS: THERMA TRU SHINGLES: 30 YEAR ARCHITECTURAL METAL ROOF ACCENT AT FRONT PORCH		
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PROJECT:
520 CONCORD STREET

CLIENT:
MALL STREET DEVELOPMENT

DRAWING:
EXTERIOR ELEVATIONS FOR
CONCEPT PLAN 2

DRAWN: JTL	CHECKED:
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DATE: 1-10-22

SCALE: 1/4" = 1'-0"

JOB NO.: 2204430

SHEET:

3
OF 4 SHEETS



CONCEPT PLAN 2

MORABITO

ARCHITECTS

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PROJECT:

520 CONCORD STREET

CLIENT:

MALL STREET DEVELOPMENT

DRAWING:

FLOOR PLANS FOR CONCEPT PLAN 2

DRAWN:

JTL

CHECKED:

DATE:

1-10-22

SCALE:

1/4" = 1'-0"

JOB NO.:

22M4130

SHEET:

4

OF 4 SHEETS

2-CAR GARAGE
26'10x22'4

MECH.

COUNTER

LAUNDRY

ENTRY

UP 7R

UP 8R

REC ROOM

BATH

36"

TWL

AREA WELL

EGRESS

48'-0"

24'-0"

LINE OF WALL ABOVE

LOWER LEVEL PLAN

AREA: 652 SQ FT

MASTER BEDROOM
14x13

BEDROOM 2
11x9'4

KITCHEN
11'8x10'4

DINING
12x13'4

FAMILY RM
16'4x13'8

COVERED PORCH

FOYER

HALL

BATH

M.BTH

WIC

36x36 SHOWER

72"

36"

LINE OF WALL BELOW

WOOD DECK
12x6

3/4 ISLAND

REF

DW

TRANSOM

1'-0" CANT.

48'-0"

30'-0"

4'-0"

2'-0"

HALF WALL W/ WOOD CAP

OPTIONAL GAS FIREPLACE

DN 7R

UP 8R

UPPER LEVEL FLOOR PLAN

AREA: 1315 SQ FT

CONCEPT PLAN 2