Issued for: Site Plan Review &

Notice of Intent

Issued: July 18, 2022

JDE Project Number: 01-2022-008

Sheet Index

No.	Drawing Title	Date	Revised
1	Cover, General Notes and Legend	07-18-2022	12-15-2022
2	Existing Conditions Plan (By Others)	07-18-2022	12-15-2022
3	Layout, Grading & Erosion Control Plan	07-18-2022	12-15-2022
4	Construction Notes & Details	07-18-2022	12-15-2022

LEGEND

EXIST	PROP		EXIST	PROP	
L=50.00'	L=50.00'	DDODEDTY LINE	== 12" ====	== 12" ====	DDAINAGE LINE
SŢA	STA	PROPERTY LINE	— 12 —— FM —	— 12 —— —— FM —	DRAINAGE LINE
		BASELINE	— 6"RD —		FORCE MAIN
		ZONING LINE		— 8"RD ——	ROOF DRAIN
		GRAVEL ROAD	12"S	———12"S—	SEWER LINE
EOP	EOP	EDGE OF PAVEMENT	OHW	— OHW——	OVERHEAD WIRES
BCC	BCC	BITUMINOUS CURB	6"W	6"W	WATER LINE
CCB	CCB	CAPE COD BERM	—— FP —	8"FP	FIRE PROTECTION LINE
PCC	PCC	PRECAST CONC. CURB	— G —	— G ——	GAS LINE
VGC	VGC	VERT. GRAN. CURB	——— E ——	—— E —	UNDERGROUND ELECTRIC
SGC	SGC	SLOPED GRAN. CURB	— T ——	— T ——	TELEPHONE LINE
		LIMIT OF CURB TYPE		■ CB	CATCH BASIN
		SAWCUT		DCB	DOUBLE CATCH BASIN
	ATCHLINE	MATCHLINE			DRAIN INLET
	EET 1 OF 30		(D)	① DMH	DRAIN MANHOLE
	ooo_	PICKET FENCE			TRENCH DRAIN
		STEEL GUARD RAIL WOOD GUARD RAIL		<u>r</u>	PLUG/STUB
		STOCKADE FENCE	FES	FES▶	FLARED END SECTION
		TREE LINE	<u></u>	<u></u>	HEADWALL
	~ Y Y \	CHAIN LINK FENCE	<u> </u>	S S	GREASE TRAP
	··· ·· ·· ··	STONE WALL	Ocs	Ocs	CONTROL STRUCTURE
		RETAINING WALL	<u>\$</u>	S	SEWER MANHOLE
		STRAW BALES	(W)	W	WATER MANHOLE
		STRAW WATTLE	•	WG/SO ●	WATER GATE/SHUT OFF
			TSV	— ◆ FSV	TAPPING SLEEVE, VALVE, & BOX RISER
2	4	MINOR CONTOUR	HYD •••	HYD ⊙	FIRE HYDRANT
10	20	MAJOR CONTOUR	WM	WM ⊡	WATER METER
1111111		BUILDING	((W)	WELL
EN	□□EN	BUILDING ENTRANCE	0	GG	GAS GATE
ī u	_ d ro	LOADING DOCK	GM ⊡	GM ⊡	GAS METER
GD	dGD	GARAGE DOOR	E	© EMH	ELECTRIC MANHOLE
0	•	BOLLARD	EB	EB	ELECTRIC BOX
-	•	SIGN	EM	EM ⊡	ELECTRIC METER
<u> </u>	=	DOUBLE SIGN	\$	×	LIGHT POLE
27.21 TO	TAD	SPOT ELEVATION	1	•	TELEPHONE MANHOLE
×27.21 TC 27.15 BC	×TOP BOTTOM	TOP & BOTTOM ELEVATION	FB	FB ⊡	FIRE ALARM BOX
+	lacktriangle	BORING LOCATION		-	UTILITY POLE
	<u> </u>	TECT DIT LOCATION	\otimes	\otimes	ROOF DRAIN CLEANOUT COVE

CORRUGATED PLASTIC PIPE

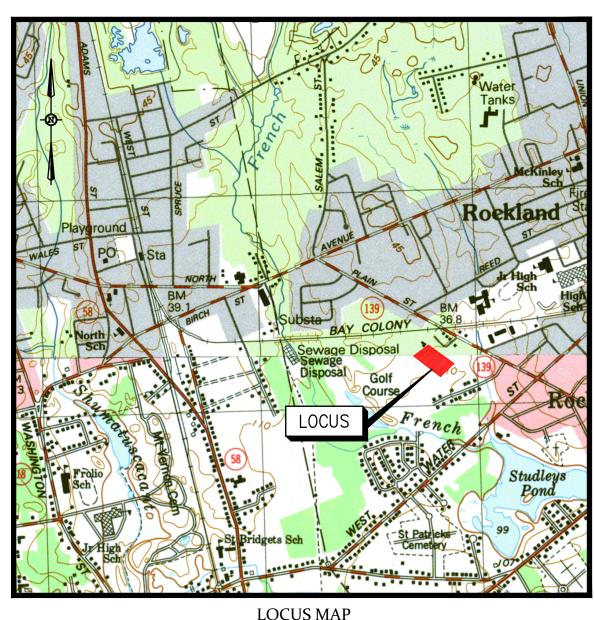
Site Development Plans Proposed Solar Field

276 Plain Street Rockland, Plymouth County, MA 02370

PREPARED FOR:

Sollising the state of the st

116 John Street, Suite 400 Lowell, Massachusetts 01852



LOCUS MAP NOT TO SCALE

PREPARED BY:



Registered Professional Civil Engineers 50 Oliver Street North Easton, MA 02356

GENERAL CONSTRUCTION NOTES

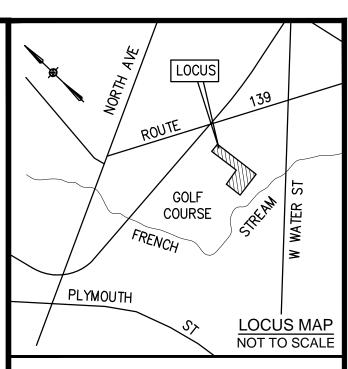
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO JACOB DRISCOLL ENGINEERING (JDE). CONTRACTOR WILL REFER TO (JDE) FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- 2. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 4. THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET".
- 5. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDED.
- 6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF ROCKLAND DPW AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF
- 7. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM OR OTHER SURFACE.
- 8. THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED PER REQUIRED SWPPP..
- 9. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE
- 10. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS
- 11. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- 12. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND THEIR REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, THEIR ENGINEER OR REPRESENTATIVE.
- 13. FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES UNTIL FINAL APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- 14. THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARING WORK.
- 15. ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING, CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- 16. PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNER'S REPRESENTATIVE.
- 17. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF ROCKLAND PUBLIC WORKS CONSTRUCTION LICENSE.
- 19. OWNER MAY REMOVE SNOW FROM SITE AS NECESSARY AND WILL NOT PLACE ON TOWN/STATE PROPERTY.
- 20. THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNER'S RESPONSIBILITY.21. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON

SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.

Planning Received 12/19/22@11:30am

LAND SURVEYING CONSULTANT:

PMP Consulting, Inc. 200 North Bedford Street East Bridgewater, MA 02333



PERMITTING SET

REVISIONS

No.	DATE	DESCRIPTION
1	10/11/2022	PER REVIEW COMMENTS
2	12/15/2022	PER PB COMMENTS
DRAWN BY:		TME / JVW
CHECKED BY:		Y: EPJ
DE	SIGNED B	Y: TME / GWD

COVER, GENERAL NOTES AND LEGEND

276 PLAIN STREET

IN

ROCKLAND

(PLYMOUTH COUNTY)

MASSACHUSETTS

JULY 18, 2022

PREPARED FOR:

SOLBID, INC.

116 JOHN STREET

SUITE 400

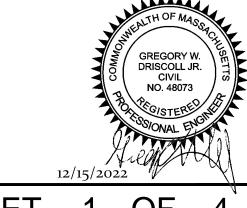
LOWELL

MASSACHUSETTS

01852



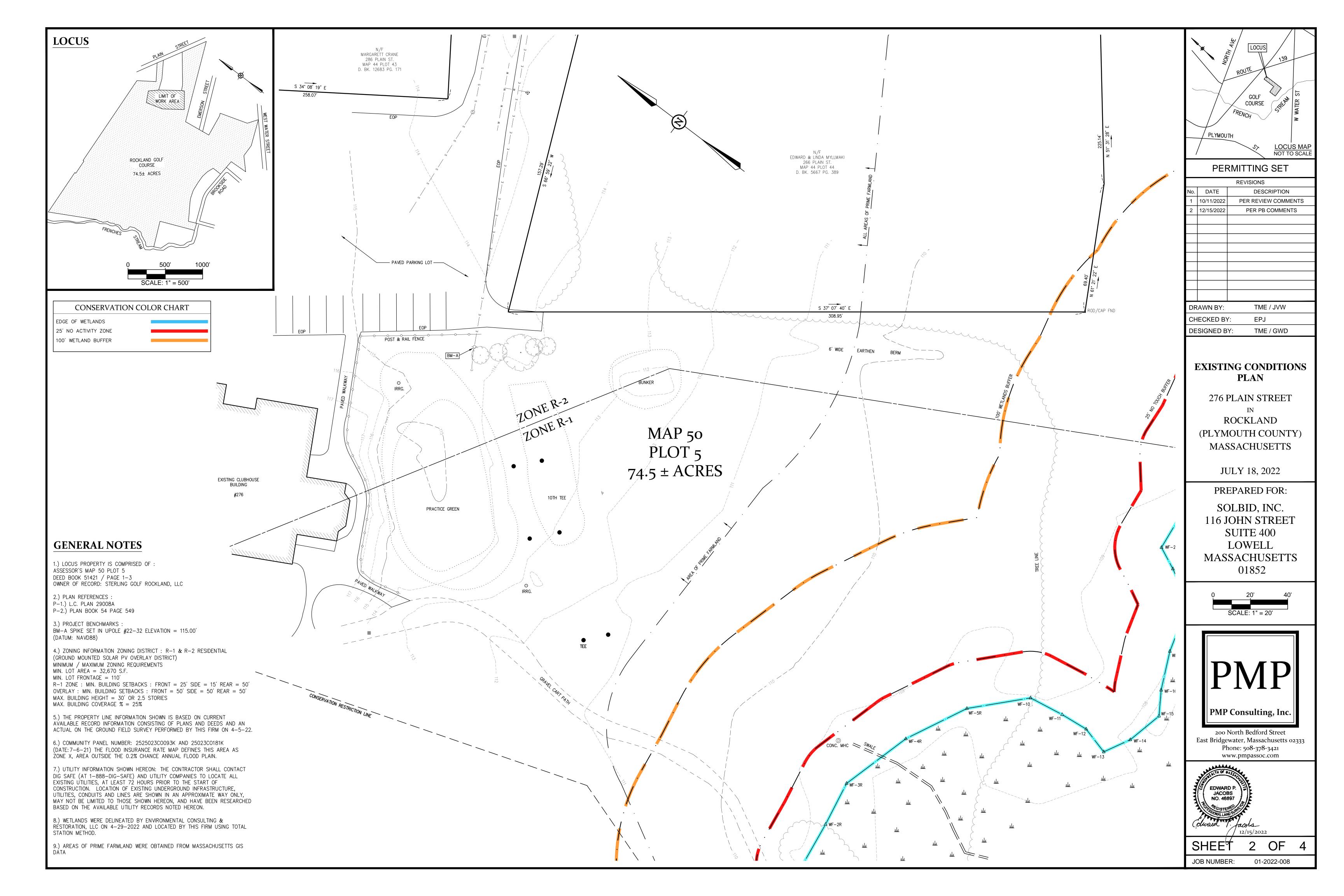
50 Oliver Street North Easton, Massachusetts 02356 Phone: 508-928-4400 www.JDECivil.com

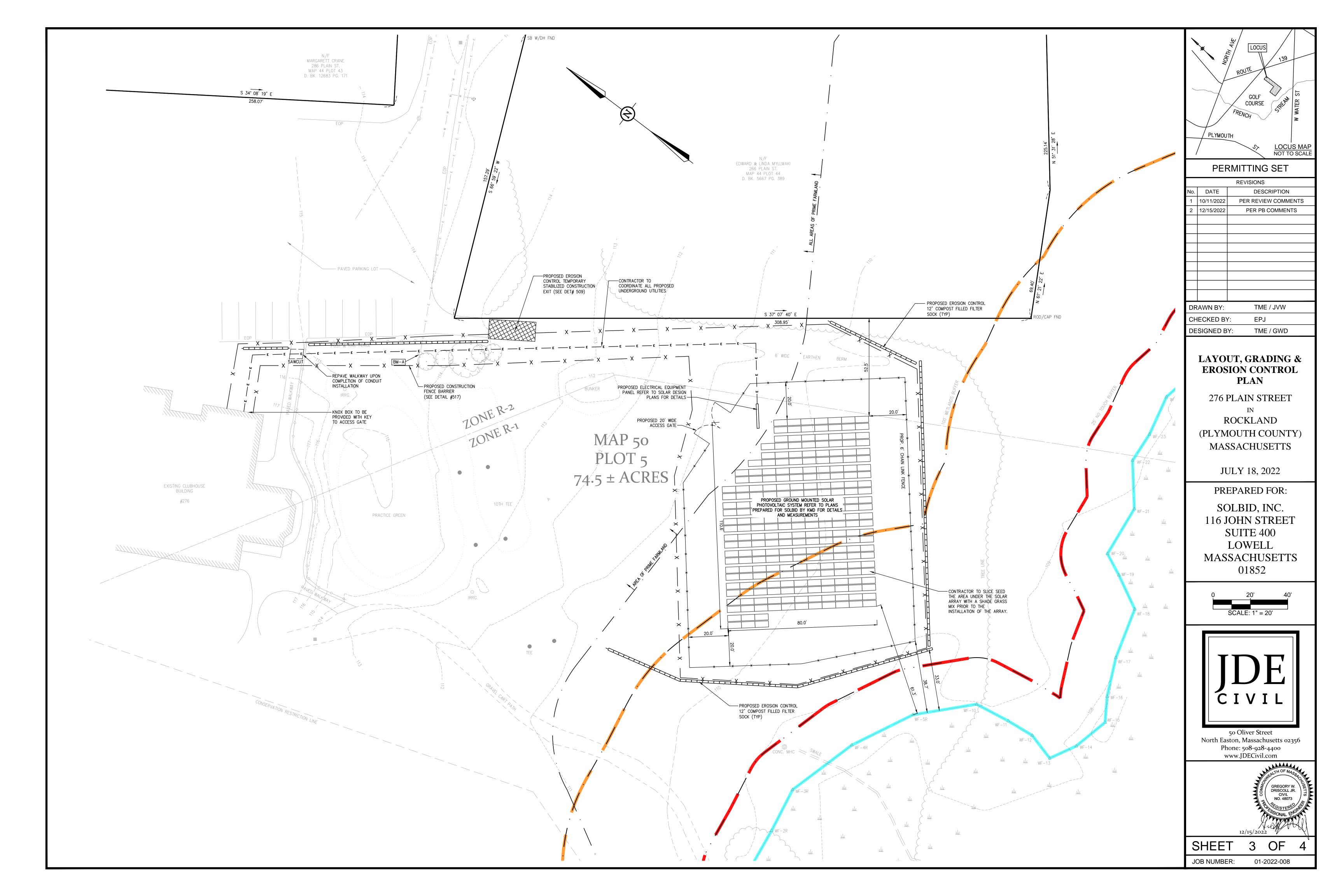


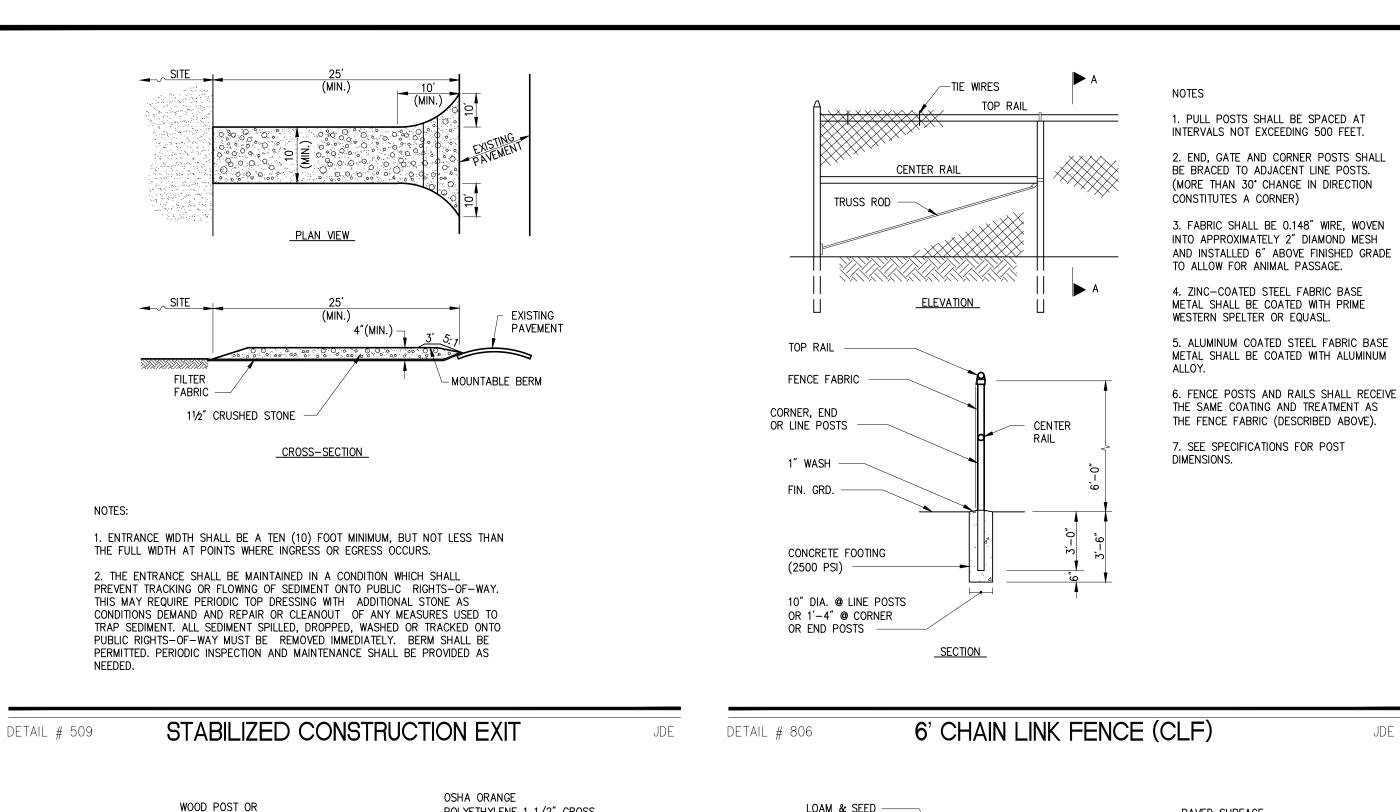
SHEET

ET TOP

JOB NUMBER: 01-2022-008







APPROVED METAL POST

CONSTRUCTION FENCE BARRIER

EVERY 8' O.C.

CONSTRUCTION - SITE

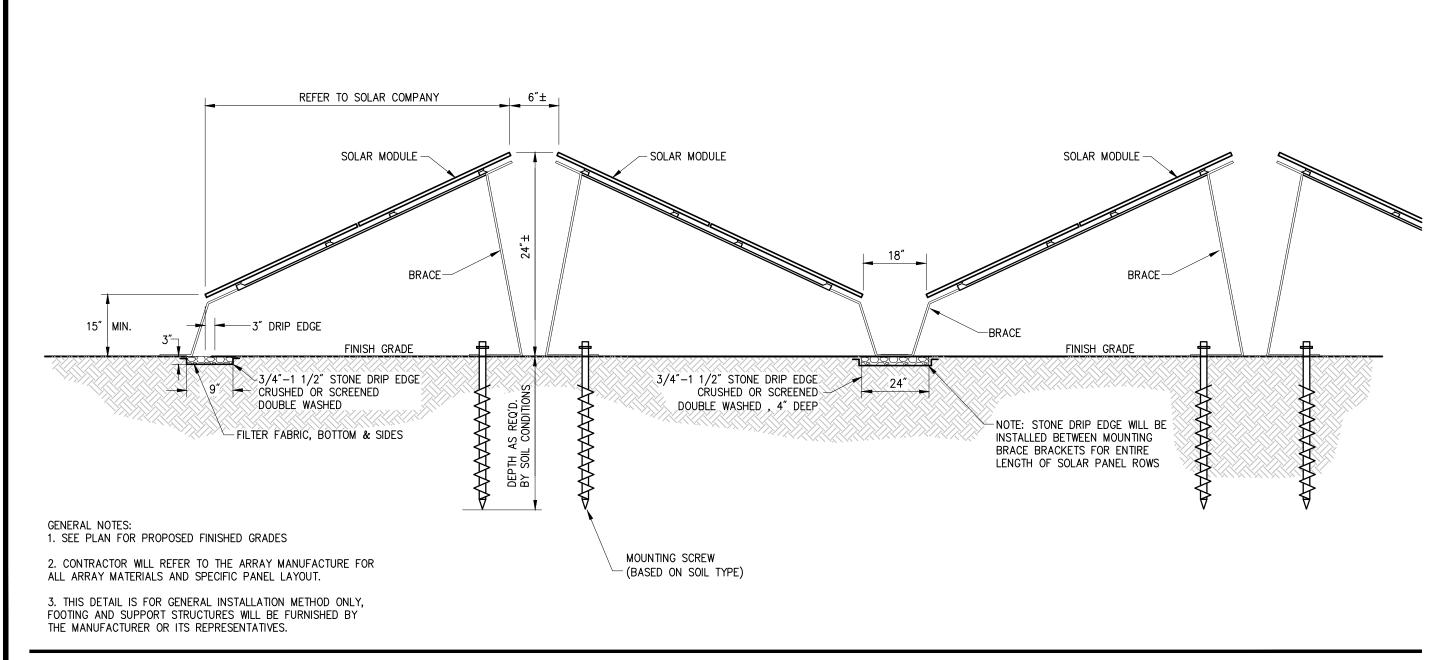
TOP OF -GROUND:

DETAIL # 517

DETAIL # 011

LOAM & SEED -POLYETHYLENE 1 1/2" CROSS PAVED SURFACE SECTION AREA PLASTIC OR SIDEWALK SAFTY FENCE SECURED W/5 WIRE TIES AT EACH POST COMPACTED NATIVE BACKFILL VOID OF OBJECTS OVER 2 INCH DIAMETER AND VOID OF DECOMPOSABLE MATERIAL UNDERGROUND METALLIC MARKER TAPE, LABELLED FOR APPROPRIATE UTILITY PROTECTED AREA 4" PVC SLEEVE FOR CONDUIT SAND OR NATIVE BACKFILL VOID OF OBJECTS GREATER THAN 1" IN DIAMETER - 6" INCHES MINIMUM AROUND CONSTRUCTION FENCE SHALL REMAIN IN ALL CONDUITS PLACE UNTIL COMPLETION OF CONSTRUCTION. EXISTING UTILITY ANY FENCE SECTION BROKEN DURING CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS.

SINGLE CONDUIT TRENCH



DETAIL # 005

EROSION CONTROL NOTES

1. MAINTAIN A STOCKPILE OF 50' OF STRAW WATTLES, 50 FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.

2. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.

3. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.

GRADING NOTES

1. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.

2. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.

3. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.

4. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.

UTILITY NOTES

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.

2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.

3. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE

4. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

CONSTRUCTION SEQUENCE

1. INSTALL PERIMETER EROSION CONTROL BARRIER (FILTER SOCK) TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.

2. CONSTRUCT TEMPORARY CONSTRUCTION EXIT AREA AS SHOWN ON DETAIL #509.

3. DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.

4. PERFORM INSTILLATION OF SOLAR ARRAY, FENCE AND NECESSARY UTILITIES AND EQUIPMENT.

5. INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.

6. REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.

7. COMPLETE FINISH GRADING AND STABILIZATION OF SITE.

8. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS ETC., STABILIZE DISTURBED

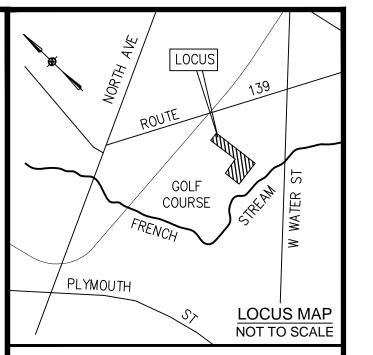
9. REMOVE EROSION CONTROL DEVICES & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE HAY BALES (EROSION CONTROL DEVICE) WERE REMOVED.

THE FLEXIBILITY OF FILTERMITT ALLOWS IT TO CONFORM TO ANY CONTOUR OR TERRAIN WHILE

WHERE SECTION ENDS MEET. THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES

HOLDING A SLIGHTLY OVAL SHAPE AT 12" HIGH BY 18" WIDE.

SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.





	REVISIONS				
No.	DATE	DESCRIPTION			
1	10/11/2022	PER REVIEW COMMENTS			
2	12/15/2022	PER PB COMMENTS			
DR	AWN BY:	TME / JVW			
CHECKED BY:		Y: EPJ			

CONSTRUCTION NOTES & DETAILS PLAN

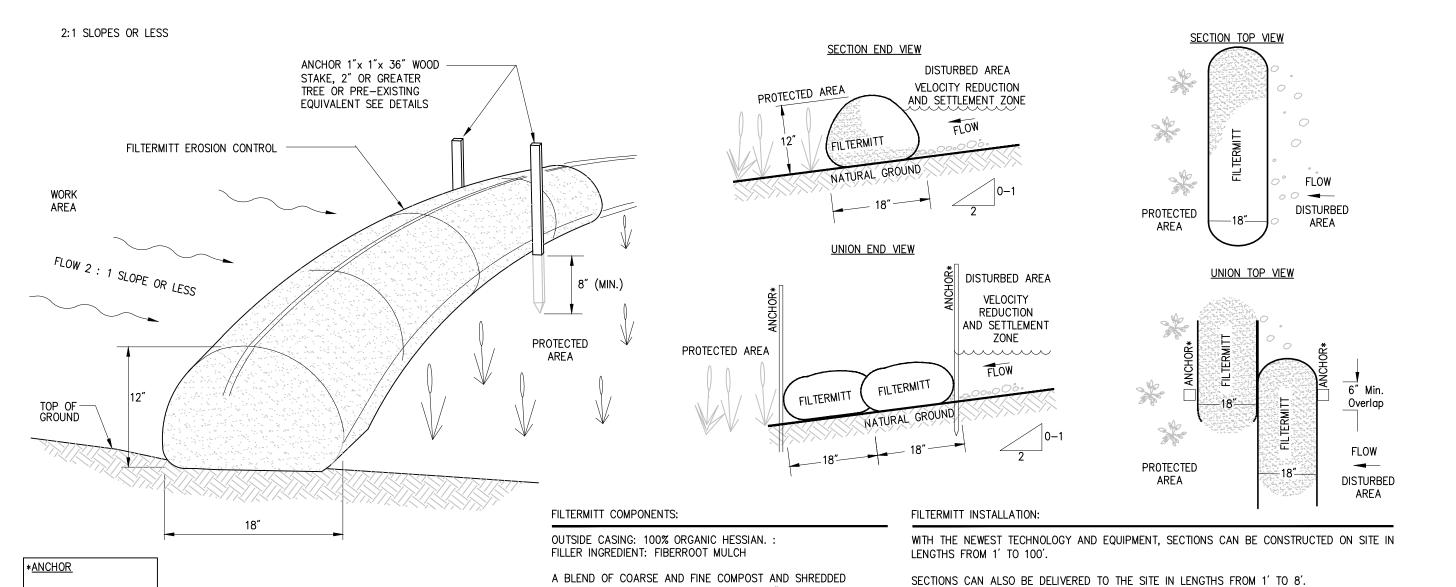
TME / GWD

DESIGNED BY:

276 PLAIN STREET **ROCKLAND** (PLYMOUTH COUNTY) **MASSACHUSETTS**

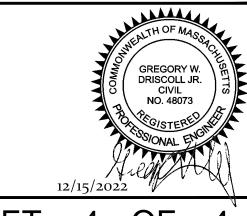
JULY 18, 2022

PREPARED FOR: SOLBID, INC. 116 JOHN STREET SUITE 400 LOWELL MASSACHUSETTS 01852



50 Oliver Street North Easton, Massachusetts 02356

Phone: 508-928-4400 www.JDECivil.com



JOB NUMBER: 01-2022-008

DETAIL # 516

1"x1"x36" OAK STAKE OF

2" OR GREATER TREE OR

EQUIVALENTLY ANCHORED

OTHER PRE-EXISTING,

OBJECT.

FILTERMITT EROSION CONTROL

WOOD. PARTICLE SIZES: 100% PASSING A 3" SCREEN:

850 LBS./CU.YD. (AVE. 30 LBS./L.F.)

90-100% PASSING A 1" SCREEN; 70-100% PASSING A 0.75" SCREEN; 30-75% PASSING A 0.25" SCREEN. WEIGHT: APPROX.