

JDE Project Number: 01-2022-008

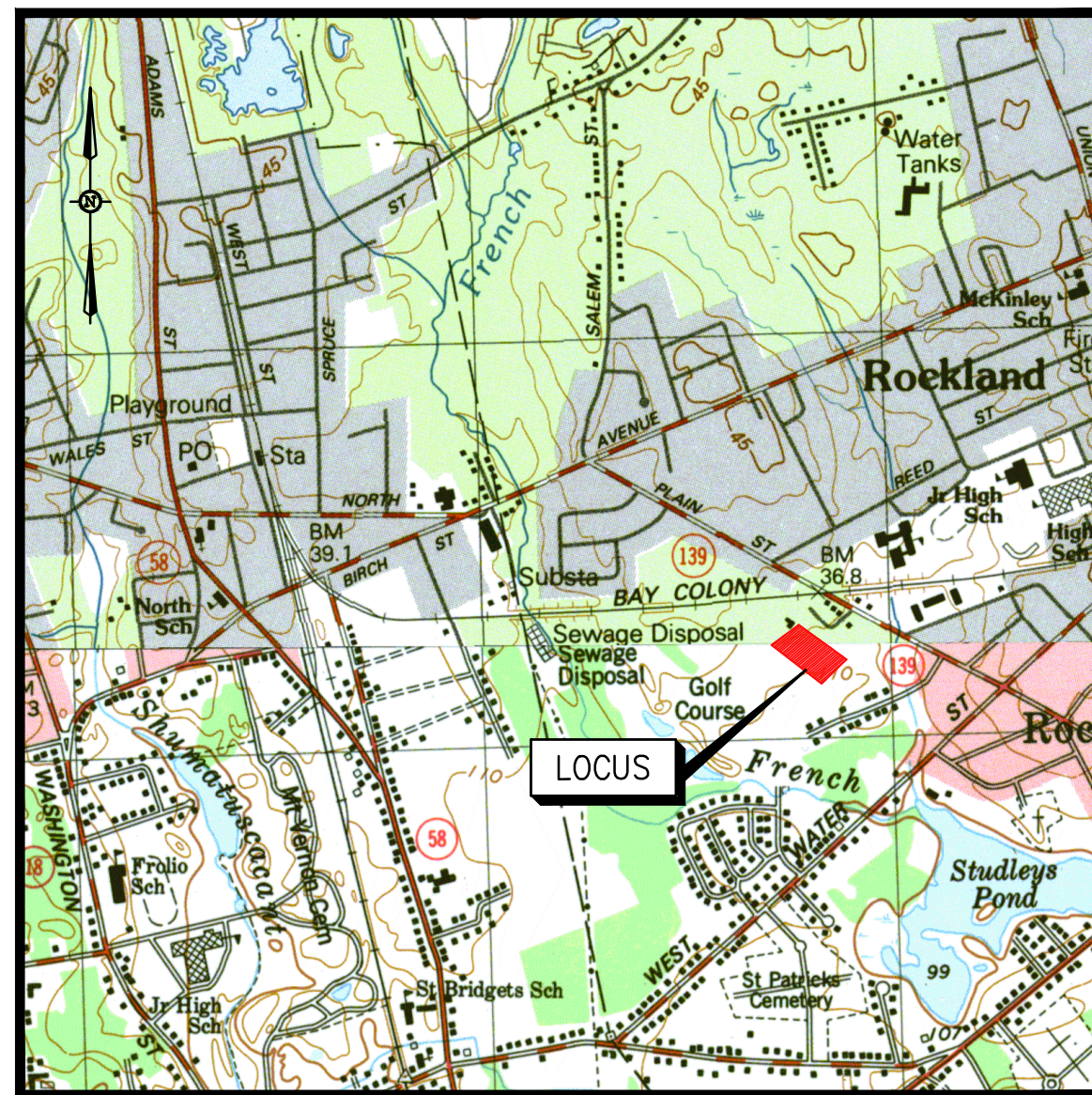
Sheet Index			
No.	Drawing Title	Date	Revised
1	Cover, General Notes and Legend	07-18-2022	12-15-2022
2	Existing Conditions Plan (By Others)	07-18-2022	12-15-2022
3	Layout, Grading & Erosion Control Plan	07-18-2022	12-15-2022
4	Construction Notes & Details	07-18-2022	12-15-2022

276 Plain Street
Rockland, Plymouth County, MA 02370

PREPARED FOR:



116 John Street, Suite 400
Lowell, Massachusetts 01852



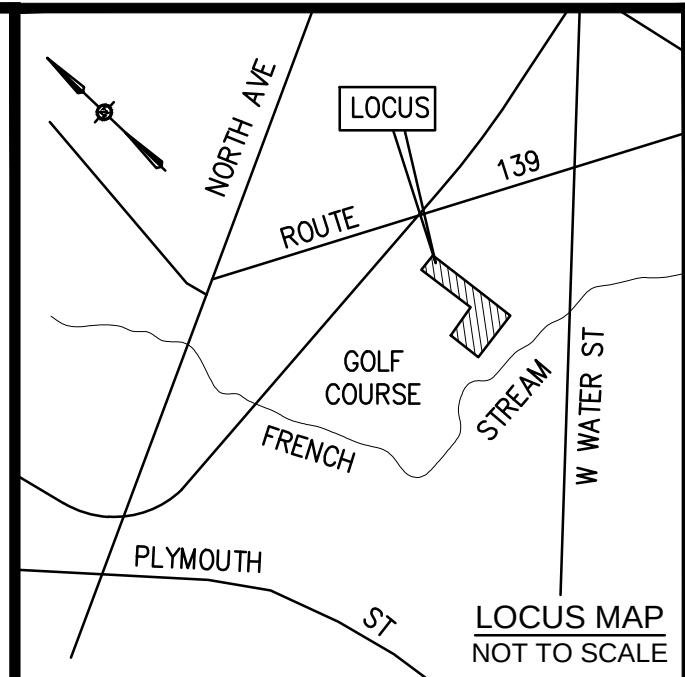
LOCUS MAP
NOT TO SCALE

PREPARED BY:



Registered Professional Civil Engineers
50 Oliver Street
North Easton, MA 02356

21. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.



PERMITTING SET

[illegible]

DRAWN BY: TME / JVW

CHECKED BY: EPJ

DESIGNED BY: TME / GWD

COVER, GENERAL NOTES AND LEGEND

276 PLAIN STREET
IN
ROCKLAND
(PLYMOUTH COUNTY)
MASSACHUSETTS

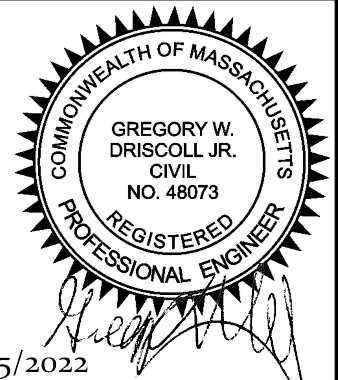
JULY 18, 2022

PREPARED FOR:

SOLBID, INC.
116 JOHN STREET
SUITE 400
LOWELL
MASSACHUSETTS
01852



50 Oliver Street
North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JDECivil.com



SHEET 1 OF 4

JOB NUMBER: 01-2022-008



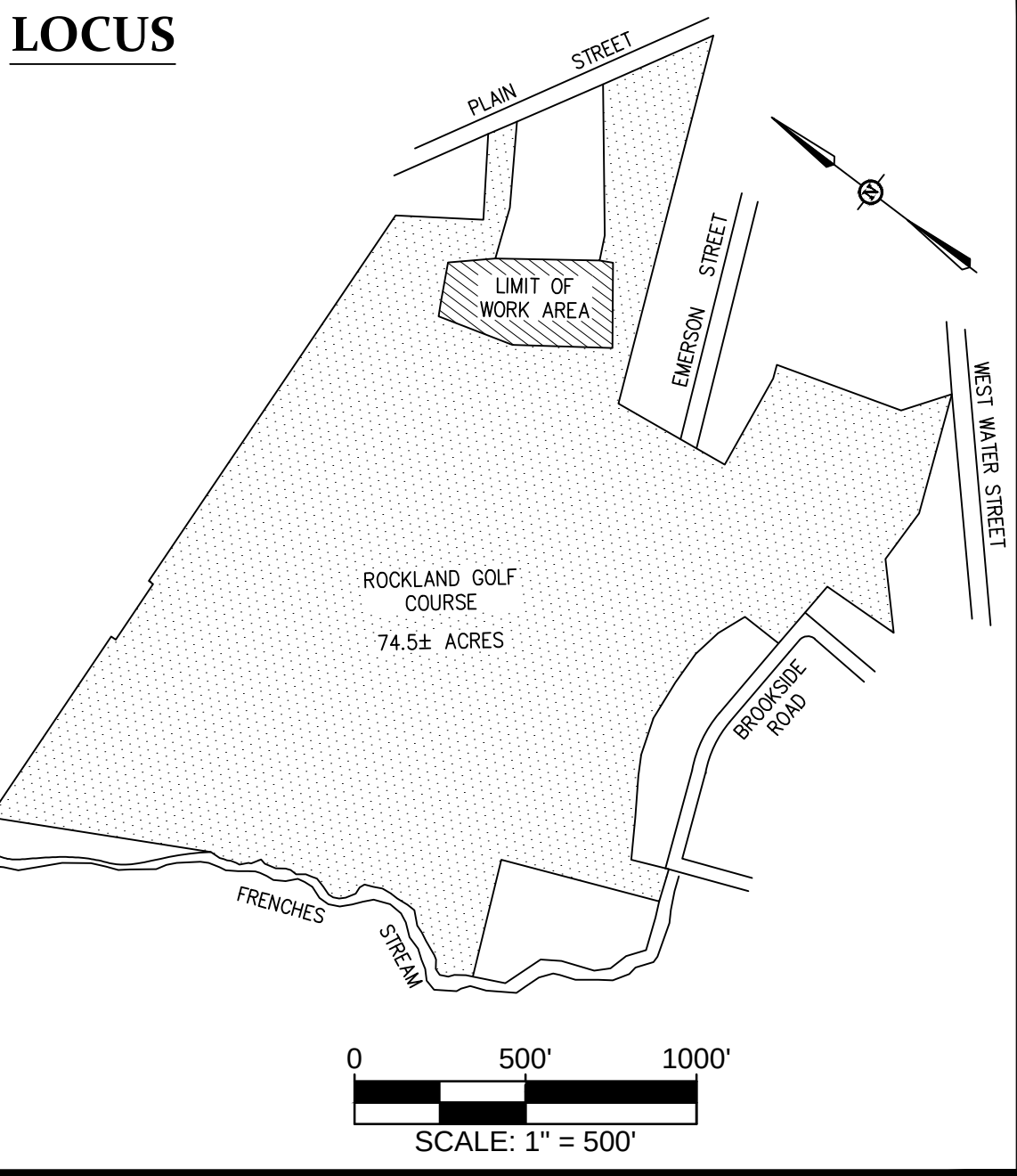
EXIST	PROP		EXIST	PROP	
		PROPERTY LINE			DRAINAGE LINE
		BASELINE			FORCE MAIN
		ZONING LINE			ROOF DRAIN
		GRAVEL ROAD			SEWER LINE
		EDGE OF PAVEMENT			OVERHEAD WIRES
		PERMANENT CURB			WATER LINE
		CAPUCO CORD BERM			FIRE PROTECTION LINE
		PRECAST CONC. CURB			GAS LINE
		VERT. GRAN. CURB			UNDERGROUND ELECTRIC
		SLOPED GRAN. CURB			TELEPHONE LINE
		LIMIT OF CURB TYPE			CATCH BASIN
		SAWCUT			DOUBLE CATCH BASIN
		PICKET FENCE			DRAIN MANHOLE
		STEEL GUARD RAIL			TRENCH DRAIN
		WOOD GUARD RAIL			FLUG/STUB
		STOCKADE FENCE			FLARED END SECTION
		TREE LINE			HEADWALL
		CHAIN LINK FENCE			GREASE TRAP
		STONE WALL			CONTROL STRUCTURE
		RETAINING WALL			SEWER MANHOLE
		STRAW BALES			WATER MANHOLE
		STRAW WATTLE			WATER GATE/SHUT OFF
		MINOR CONTOUR			TAPPING SLEEVE, VALVE, & BOX RISER
		MAJOR CONTOUR			FIRE HYDRANT
		BUILDING			WATER METER
		BUILDING ENTRANCE			WELL
		LOADING DOCK			GAS GATE
		GARAGE DOOR			GAS METER
		BOLLARD			ELECTRIC MANHOLE
		SIGN			ELECTRIC BOX
		DOUBLE SIGN			ELECTRIC METER
		SPOT ELEVATION TOP & BOTTOM ELEVATION			LIGHT POLE
		BORING LOCATION			TELEPHONE MANHOLE
		TEST PIT LOCATION			FIRE ALARM BOX
		UTILITY POLE			ROOF DRAIN CLEANOUT COVER
		CORRUGATED PLASTIC PIPE			

Planning Received 12/19/22@11:30am

LAND SURVEYING CONSULTANT:

PMP Consulting, Inc.
200 North Bedford Street
East Bridgewater, MA 02333

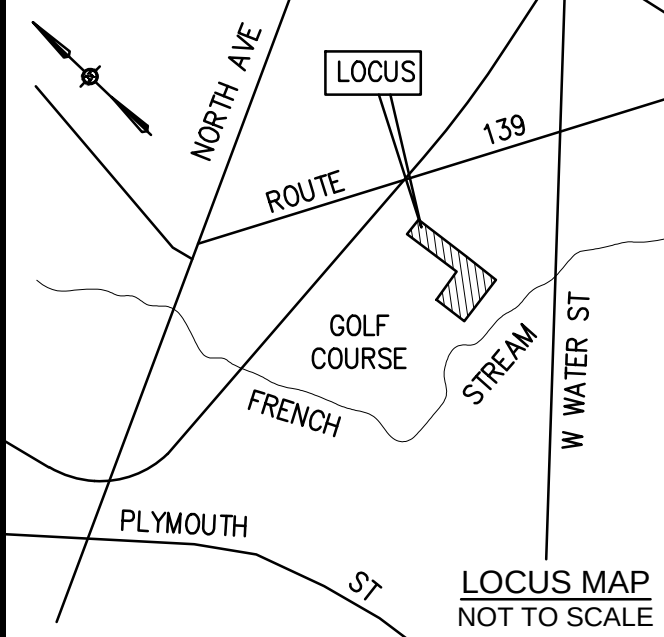
LOCUS



CONSERVATION COLOR CHART	
EDGE OF WETLANDS	—
25' NO ACTIVITY ZONE	—
100' WETLAND BUFFER	—

GENERAL NOTES

- LOCUS PROPERTY IS COMPRISED OF :
ASSESSOR'S MAP 50 PLOT 5
DEED BOOK 51421 / PAGE 1-3
OWNER OF RECORD: STERLING GOLF ROCKLAND, LLC
- PLAN REFERENCES :
P-1.) L.C. PLAN 29008A
P-2.) PLAN BOOK 54 PAGE 549
- PROJECT BENCHMARKS :
BM-A SPIKE SET IN UPOLE #22-32 ELEVATION = 115.00'
(DATUM: NAVD88)
- ZONING INFORMATION ZONING DISTRICT : R-1 & R-2 RESIDENTIAL
(GROUND MOUNTED SOLAR PV OVERLAY DISTRICT)
MINIMUM / MAXIMUM ZONING REQUIREMENTS
MIN. LOT AREA = 32,670 S.F.
MIN. LOT FRONTAGE = 110'
R-1 ZONE : MIN. BUILDING SETBACKS : FRONT = 25' SIDE = 15' REAR = 50'
OVERLAY : MIN. BUILDING SETBACKS : FRONT = 50' SIDE = 50' REAR = 50'
MAX. BUILDING HEIGHT = 30' OR 2.5 STORIES
MAX. BUILDING COVERAGE % = 25%
- THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY THIS FIRM ON 4-5-22.
- COMMUNITY PANEL NUMBER: 2525023C0093K AND 25023C0181K
(DATE: 7-6-21) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN.
- UTILITY INFORMATION SHOWN HEREON: THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREON, AND HAVE BEEN RESEARCHED BASED ON THE AVAILABLE UTILITY RECORDS NOTED HEREON.
- WETLANDS WERE DELINEATED BY ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON 4-29-2022 AND LOCATED BY THIS FIRM USING TOTAL STATION METHOD.
- AREAS OF PRIME FARMLAND WERE OBTAINED FROM MASSACHUSETTS GIS DATA



PERMITTING SET

REVISIONS		
No.	DATE	DESCRIPTION
1	10/11/2022	PER REVIEW COMMENTS
2	12/15/2022	PER PB COMMENTS

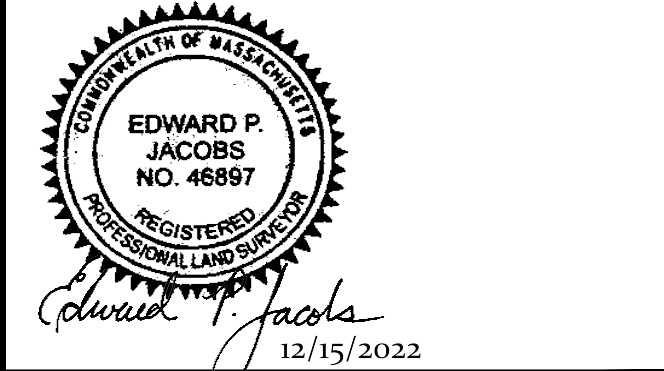
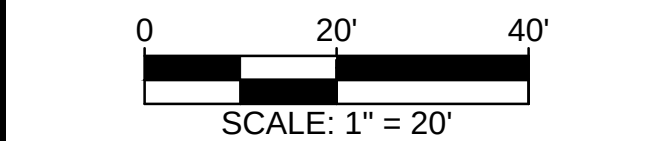
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DESIGNED BY: TME / GWD

EXISTING CONDITIONS PLAN

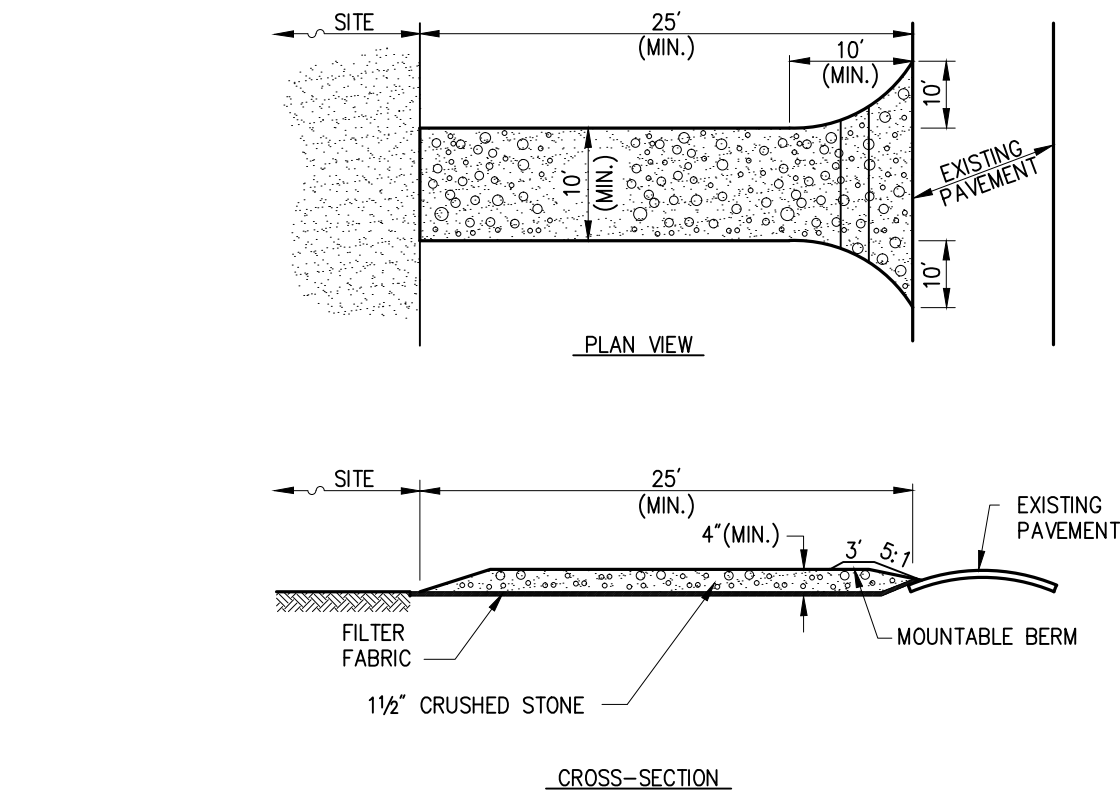
276 PLAIN STREET
IN
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MASSACHUSETTS

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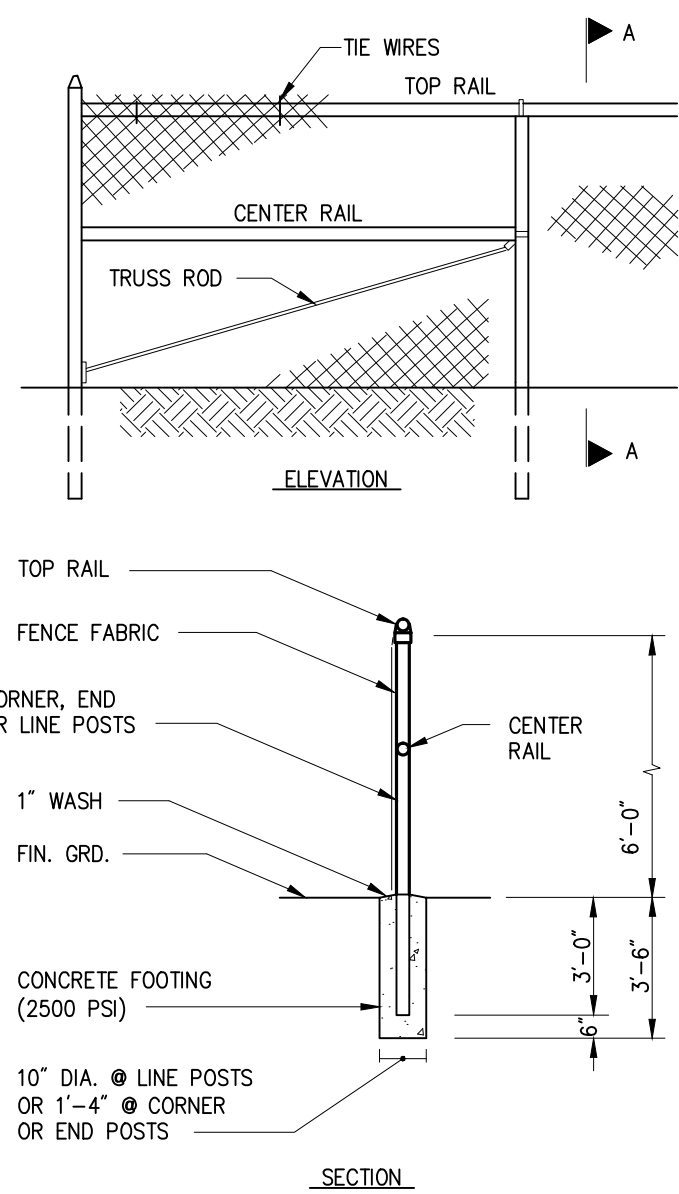


SHEET 2 OF 4
JOB NUMBER: 01-2022-008



NOTES:

- ENTRANCE WIDTH SHALL BE A TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

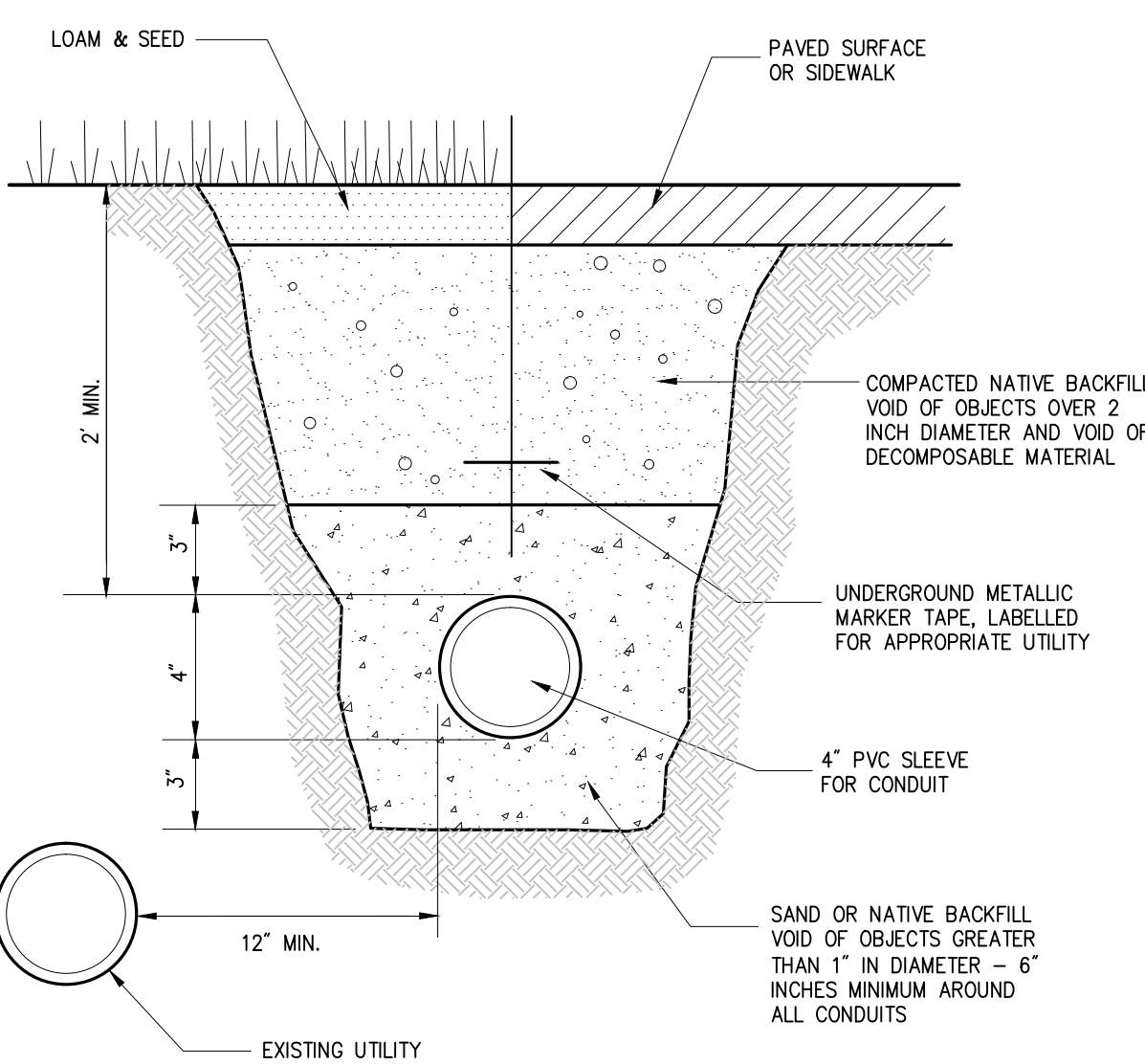
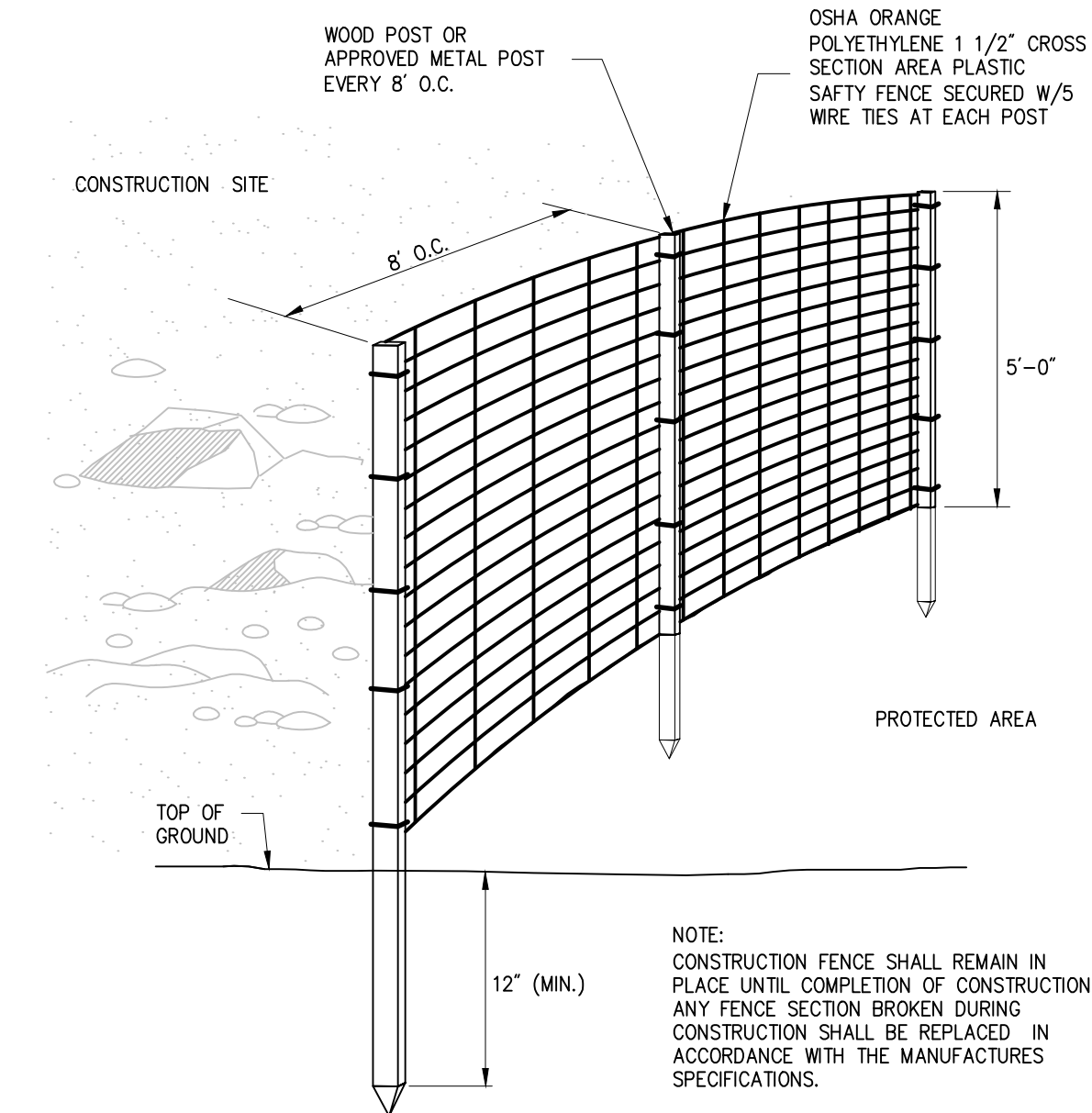


NOTES

- PULL POSTS SHALL BE SPACED AT INTERVALS NOT EXCEEDING 500 FEET.
- END, GATE AND CORNER POSTS SHALL BE BRACED TO ADJACENT LINE POSTS. (MORE THAN 30° CHANGE IN DIRECTION CONSTITUTES A CORNER)
- FABRIC SHALL BE 0.148\" WIRE, WOVEN INTO APPROXIMATELY 2\" DIAMOND MESH AND INSTALLED 6\" ABOVE FINISHED GRADE TO ALLOW FOR ANIMAL PASSAGE.
- ZINC-COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH PRIME WESTERN SHELTER OR EQASL.
- ALUMINUM COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH ALUMINUM ALLOY.
- FENCE POSTS AND RAILS SHALL RECEIVE THE SAME COATING AND TREATMENT AS THE FENCE FABRIC (DESCRIBED ABOVE).
- SEE SPECIFICATIONS FOR POST DIMENSIONS.

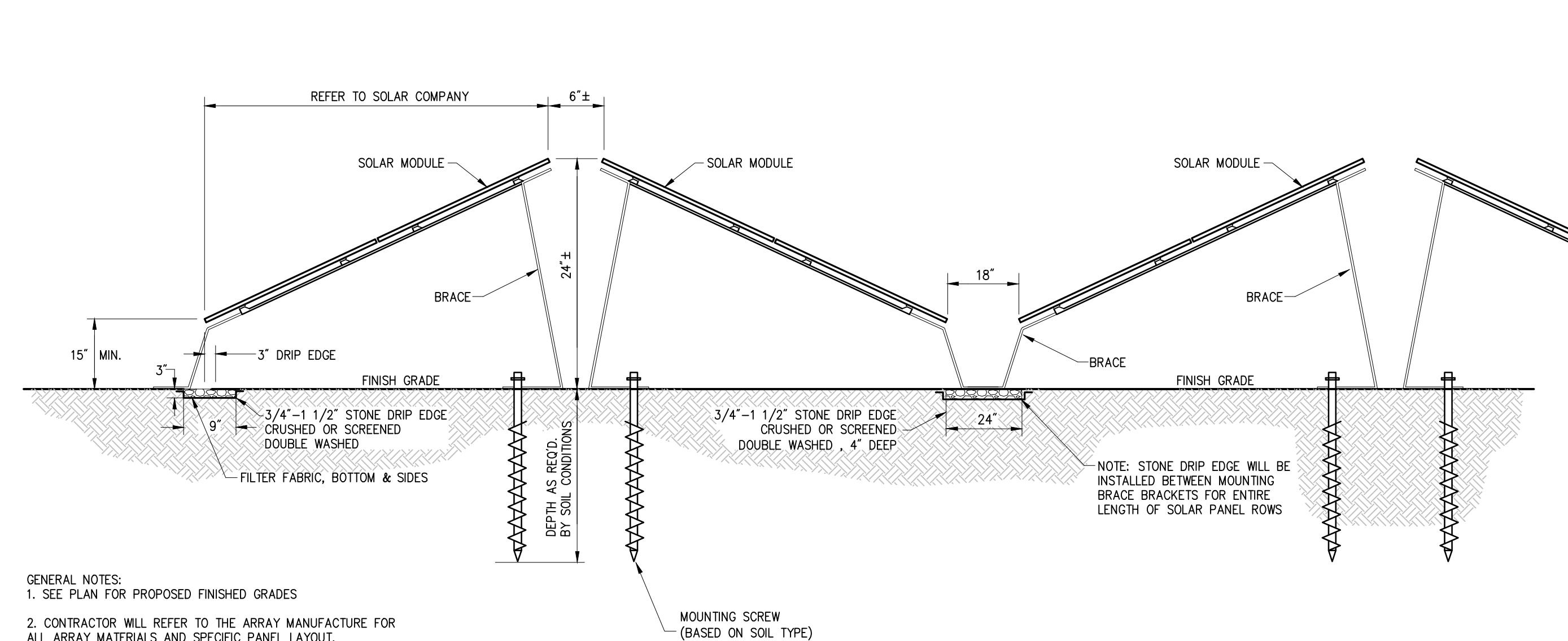
DETAIL # 509 STABILIZED CONSTRUCTION EXIT JDE

DETAIL # 806 6' CHAIN LINK FENCE (CLF) JDE



DETAIL # 517 CONSTRUCTION FENCE BARRIER JDE

DETAIL # 005 SINGLE CONDUIT TRENCH JDE



- GENERAL NOTES:
- SEE PLAN FOR PROPOSED FINISHED GRADES
 - CONTRACTOR WILL REFER TO THE ARRAY MANUFACTURE FOR ALL ARRAY MATERIALS AND SPECIFIC PANEL LAYOUT.
 - THIS DETAIL IS FOR GENERAL INSTALLATION METHOD ONLY. FOOTING AND SUPPORT STRUCTURES WILL BE FURNISHED BY THE MANUFACTURER OR ITS REPRESENTATIVES.

DETAIL # 011 SOLAR ARRAY DRIP EDGE INSTALLATION JDE

EROSION CONTROL NOTES

- MAINTAIN A STOCKPILE OF 50' OF STRAW WATTLES, 50 FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
- DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.

GRADING NOTES

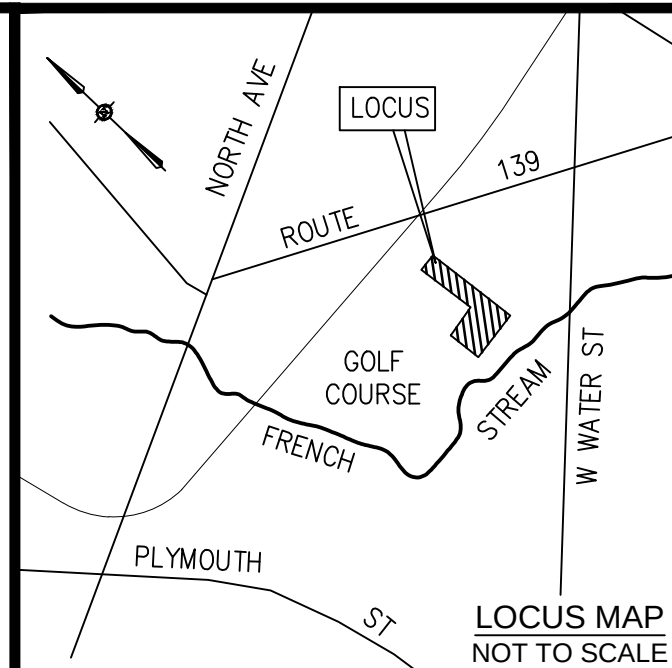
- DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
- DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
- DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, FOR DUST CONTROL.
- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4\"/>

UTILITY NOTES

- 12\"/>
- A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18\"/>
- GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE NOTED OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
- ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12\"/>

CONSTRUCTION SEQUENCE

- INSTALL PERIMETER EROSION CONTROL BARRIER (FILTER SOCK) TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY CONSTRUCTION EXIT AREA AS SHOWN ON DETAIL #509.
- DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.
- PERFORM INSTALLATION OF SOLAR ARRAY, FENCE AND NECESSARY UTILITIES AND EQUIPMENT.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
- REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
- COMPLETE FINISH GRADING AND STABILIZATION OF SITE.
- REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS ETC., STABILIZE DISTURBED AREAS.
- REMOVE EROSION CONTROL DEVICES & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE HAY BALES (EROSION CONTROL DEVICE) WERE REMOVED.



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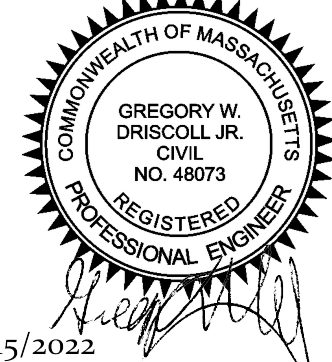
CONSTRUCTION NOTES & DETAILS PLAN

276 PLAIN STREET
 IN
 ROCKLAND
 (PLYMOUTH COUNTY)
 MASSACHUSETTS

JULY 18, 2022

PREPARED FOR:
 SOLBID, INC.
 116 JOHN STREET
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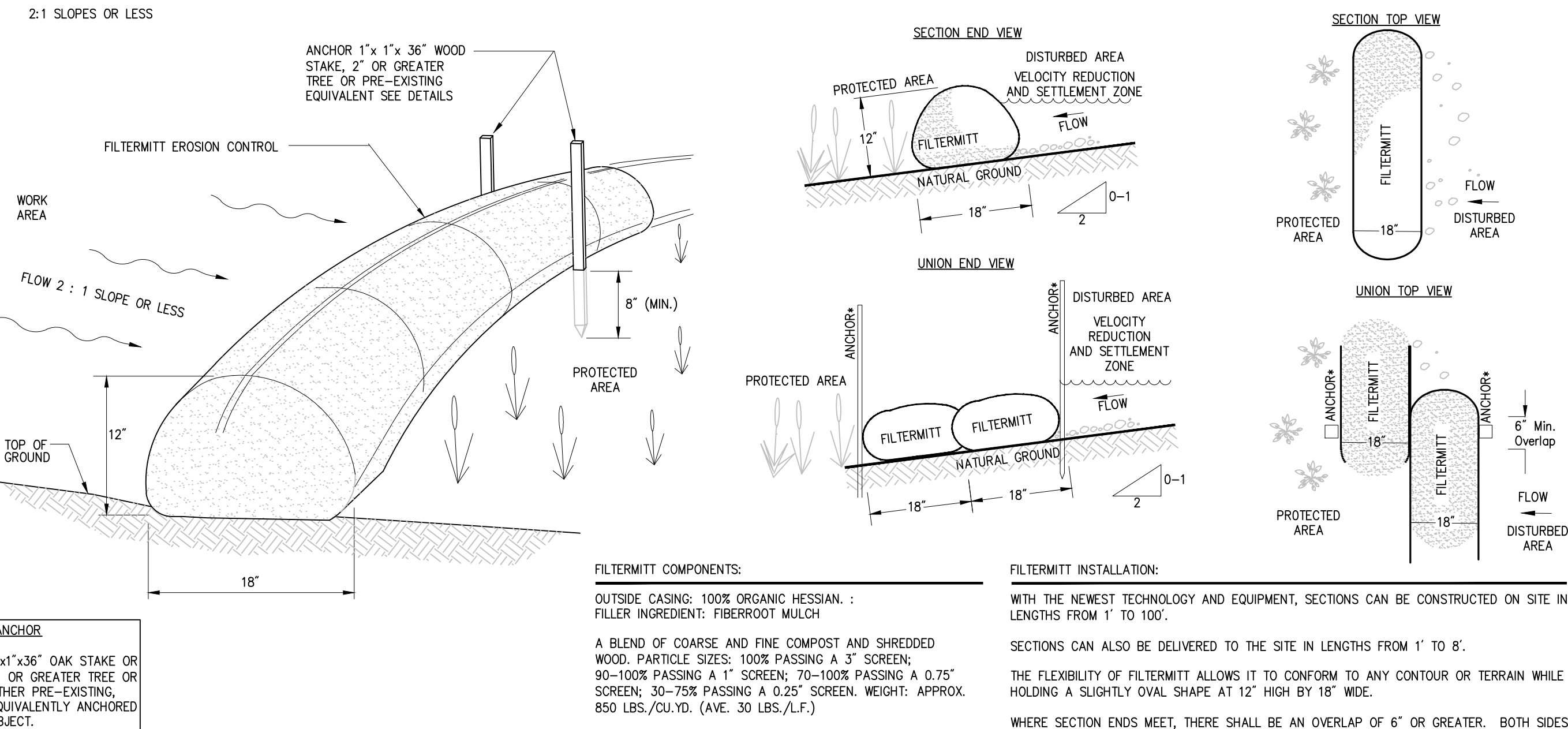
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12/15/2022

SHEET 4 OF 4

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DETAIL # 516 FILTERMITT EROSION CONTROL JDE