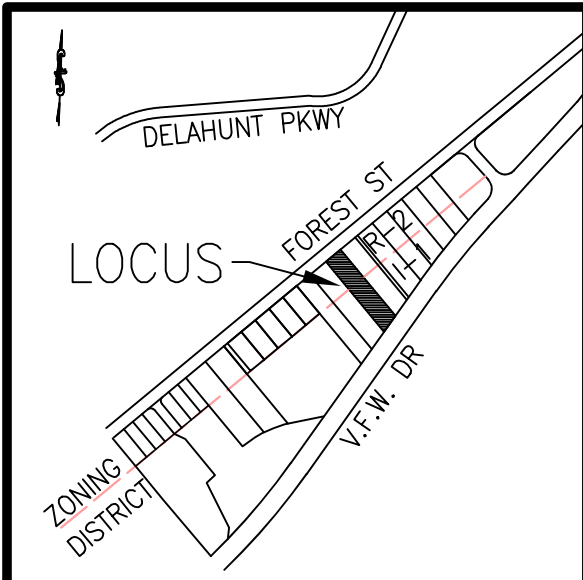


PROPOSED SITE PLAN
421 FOREST STREET
(ASSESSOR'S PARCEL: 14-79)
ROCKLAND, MASSACHUSETTS

Planning Received 5/8/25



VICINITY MAP
NOT TO SCALE



LEGEND

BH	BULK HEAD
BIT	BITUMINOUS
BK	BOOK
BP	BEANPOLE
CCB	CAPE COD BERM
CIP	CAST IN PLACE CURB
CBN	CATCH BASIN
DH	DRILL HOLE
DMH	DRAIN MAN HOLE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
EXIST	EXISTING
GW	GUY WIRE
HH	HAND HOLE
HYD	HYDRANT
I	INVERT
IP	IRON PIPE
IR	IRON ROD
LP	LIGHT POLE
MH	MAN HOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRES
PG	PAGE
PROP	PROPOSED
R/C	REBAR & CAP
SMH	SEWER MAN HOLE
TYP	TYPICAL
UP	UTILITY POLE
VCC	VERTICAL CONCRETE CURBING
VGC	VERTICAL GRANITE CURBING
WS	WATER SERVICE

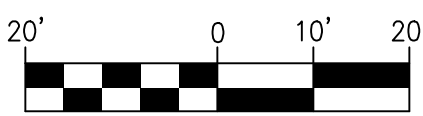
GENERAL NOTES

- DEED REFERENCES: BOOK 50431 PAGE 48
- RECORD OWNERS: DENNIS BENOIT & MELISSA MCINNIS
- PLAN REFERENCES: PLAN BOOK 9 PAGE 257
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF ROCKLAND RESIDENCE-2 & LIMITED INDUSTRIAL ZONING DISTRICTS.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF COHASSET WATER RESOURCE DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. BETWEEN OCTOBER 2022 AND JULY 2023.
- WETLAND RESOURCE AREAS WERE DELINEATED BY BRAD HOLMES, P.W.S. OF ENVIRONMENTAL CONSULTING & RESTORATION, LLC ON JUNE 13, 2023.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25023C 0093K DATED JULY 16, 2021. ZONE X IS NOT CONSIDERED TO BE A SPECIAL FLOOD HAZARD AREA.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP ZONE A SURFACE WATER SUPPLY
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.
- THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CHANGES.

WAIVER REQUESTS

- RULES & REGULATIONS OF THE ROCKLAND PLANNING BOARD
- SECTION: III.C.2.e.1:
REQUIREMENT: REINFORCED CONCRETE PIPE WITHIN MINIMUM COVER OVER PIPE OF 2.5'
PROPOSED: HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH LESS THAN 2.5' OF COVER.
JUSTIFICATION: HDPE PIPE HAS AN H-20 LOAD RATING WITH 1.0' OF COVER.
 - SECTION: III.C.2.f.1:
REQUIREMENT: SUBSURFACE BASINS REQUIRE A WAIVER FROM THE BOARD.
PROPOSED: A SUBSURFACE INFILTRATION SYSTEM.
JUSTIFICATION: THE SYSTEM IS ON PRIVATE PROPERTY AND WILL BE MAINTAINED BY THE PROPERTY OWNER. AN O&M PLAN IS INCLUDED IN THE STORMWATER REPORT.

GRAPHIC SCALE



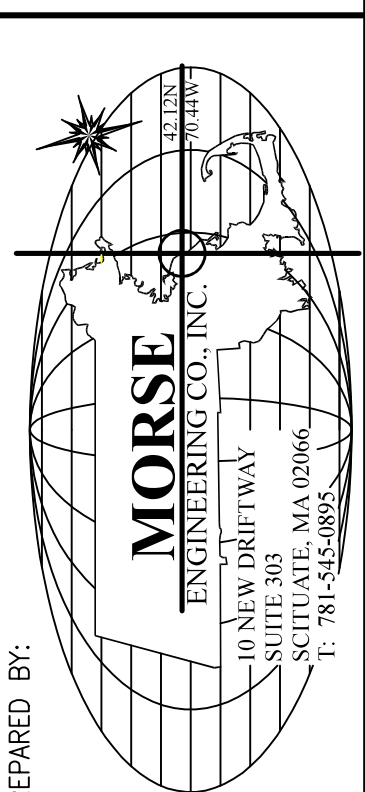
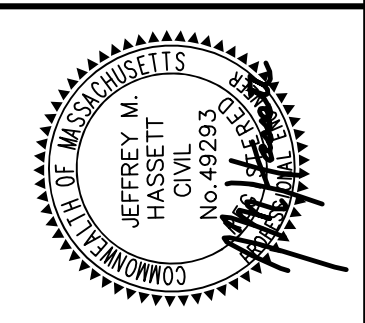
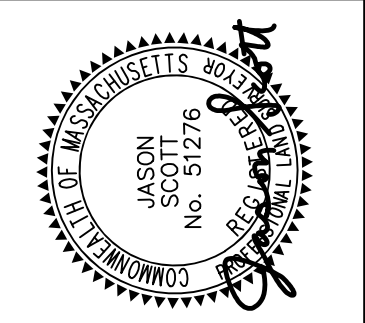
SCALE: 1" = 20'



INDEX TO DRAWINGS

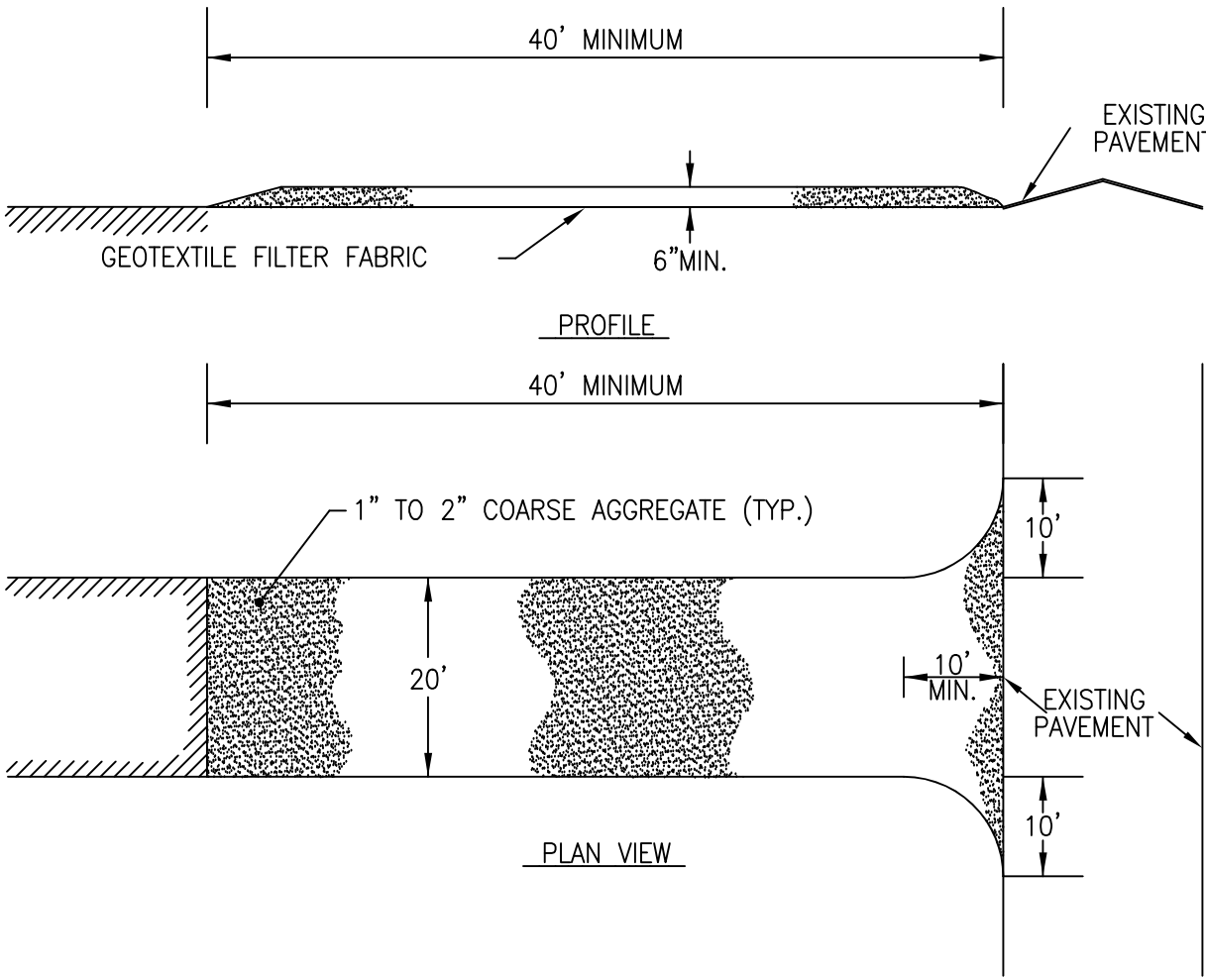
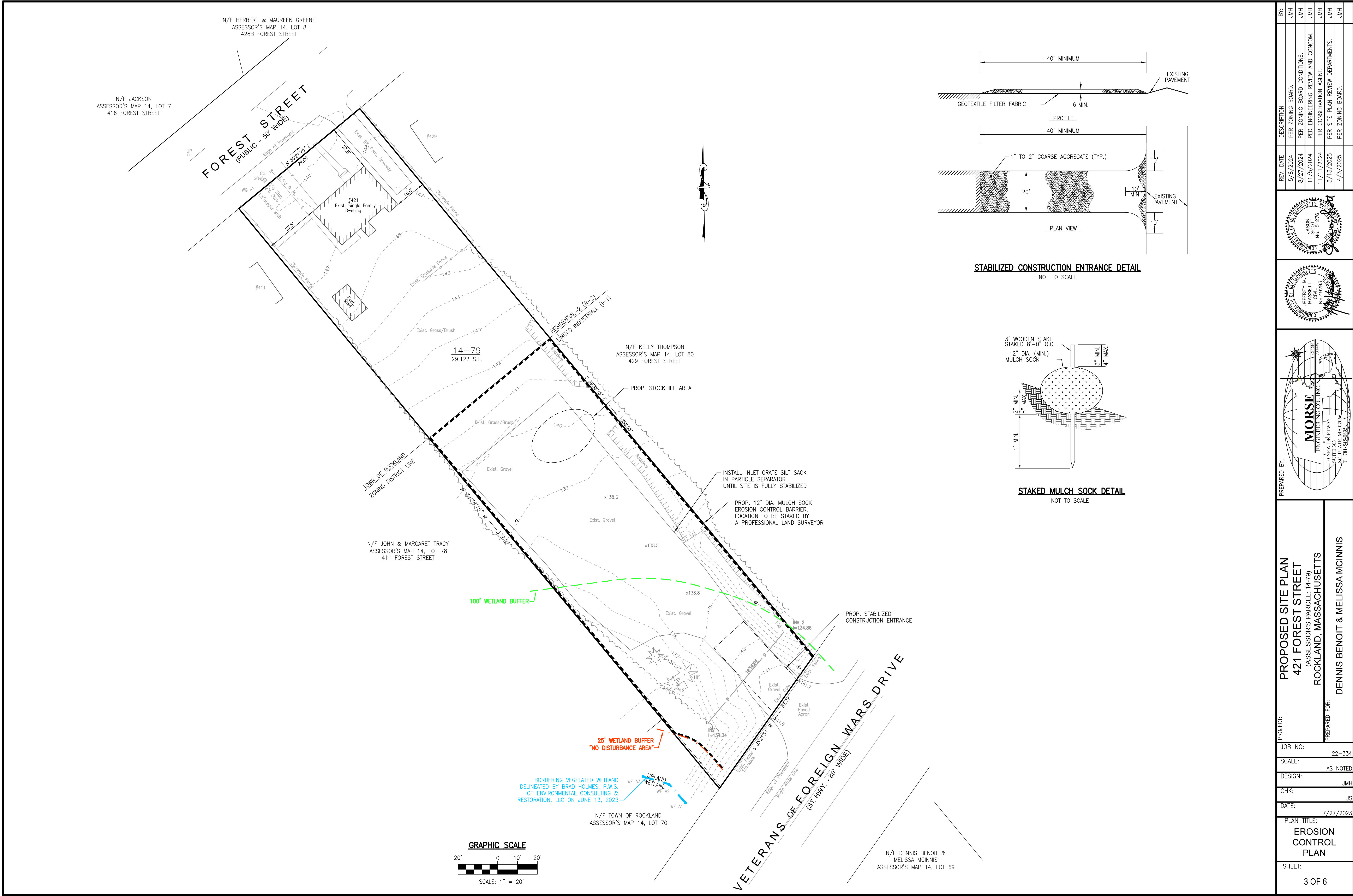
PLAN	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	EROSION CONTROL PLAN
4	SITE LAYOUT & LANDSCAPE PLAN
5	GRADING & UTILITIES PLAN
6	CONSTRUCTION DETAILS

REV.	DATE	DESCRIPTION	BY:
5/8/2024	5/8/2024	PER ZONING BOARD.	JMH
8/27/2024	8/27/2024	PER ZONING BOARD CONDITIONS.	JMH
11/5/2024	11/5/2024	PER ENGINEERING REVIEW AND CONCOM.	JMH
11/11/2024	11/11/2024	PER CONSERVATION AGENT.	JMH
3/13/2025	3/13/2025	PER SITE PLAN REVIEW DEPARTMENTS.	JMH
4/3/2025	4/3/2025	PER ZONING BOARD.	JMH

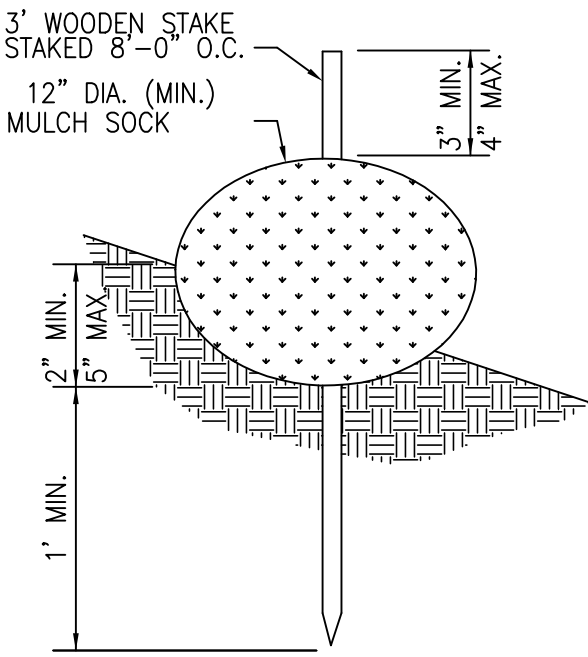


PROJECT:	PROPOSED SITE PLAN 421 FOREST STREET (ASSESSOR'S PARCEL: 14-79) ROCKLAND, MASSACHUSETTS
PREPARED FOR:	DENNIS BENOIT & MELISSA MCINNIS

JOB NO:	22-334
SCALE:	AS NOTED
DESIGN:	JMH
CHK:	JS
DATE:	7/27/2023
PLAN TITLE:	COVER SHEET
SHEET:	1 OF 6



STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



STAKED MULCH SOCK DETAIL
NOT TO SCALE

BY:	JMH	DESCRIPTION	PER ZONING BOARD.	5/8/2024	REV. DATE
	JMH		PER ZONING BOARD CONDITIONS.	8/27/2024	
	JMH		PER ENGINEERING REVIEW AND CONCOM.	11/5/2024	
	JMH		PER CONSERVATION AGENT.	11/11/2024	
	JMH		PER SITE PLAN REVIEW DEPARTMENTS.	3/13/2025	
	JMH		PER ZONING BOARD.	4/3/2025	
PREPARED BY:					
PROJECT:			PROPOSED SITE PLAN 421 FOREST STREET (ASSESSOR'S PARCEL: 14-79) ROCKLAND, MASSACHUSETTS		
PREPARED FOR:			DENNIS BENOIT & MELISSA MCINNIS		
JOB NO:			22-334		
SCALE:			AS NOTED		
DESIGN:			JMH		
CHK:			JS		
DATE:			7/27/2023		
PLAN TITLE:			EROSION CONTROL PLAN		
SHEET:			3 OF 6		

N/F HERBERT & MAUREEN GREENE
ASSESSOR'S MAP 14, LOT 8
428B FOREST STREET

N/F JACKSON
ASSESSOR'S MAP 14, LOT 7
416 FOREST STREET

THE EXTERIOR OF THE RESIDENTIAL DWELLING,
INCLUDING LANDSCAPING, TO BE RENOVATED FROM
LOT LINE TO LOT LINE

FOREST STREET
(PUBLIC - 50' WIDE)

N 82°21'45" E
79.00'

#411

N/F JOHN & MARGARET TRACY
ASSESSOR'S MAP 14, LOT 78
411 FOREST STREET

NO PARKING SIGN

100' WETLAND BUFFER

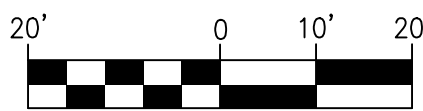
PROP. TRASH AND RECYCLING BARRELS
PROP. TREELINE
PROP. COVERED ENTRY
PROP. WOOD GUARDRAIL
PROP. ADA SIGN
10'X20' PARKING SPACE (TYP.)
PROP. 529 S.F. WETLAND
BUFFER PLANTING AREA

25' WETLAND BUFFER
"NO DISTURBANCE AREA"

BORDERING VEGETATED WETLAND
DELINEATED BY BRAD HOLMES, P.W.S.
OF ENVIRONMENTAL CONSULTING &
RESTORATION, LLC ON JUNE 13, 2023

N/F TOWN OF ROCKLAND
ASSESSOR'S MAP 14, LOT 70

GRAPHIC SCALE



SCALE: 1" = 20'



VETERANS OF FOREIGN WARS DRIVE
(ST. HWY. - 80' WIDE)

N/F DENNIS BENOIT &
MELISSA MCINNIS
ASSESSOR'S MAP 14, LOT 69

ZONING REQUIREMENTS

RESIDENTIAL-2	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	32,670 S.F.	29,122 S.F.	NO CHANGE
FRONTAGE	110'	79.00	NO CHANGE
LOT WIDTH	110'	79.00	NO CHANGE
FRONT YARD SETBACK	25'	23.8'	NO CHANGE
SIDE YARD SETBACK	11.9'	16.0'	NO CHANGE
REAR YARD SETBACK	50'	100.5'	NO CHANGE
HEIGHT (STORIES/FT)	2.5/30'	1 STORY	NO CHANGE

LIMITED INDUSTRIAL(I-1)	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	29,122 S.F.	NO CHANGE
FRONTAGE	110'	81.79'	NO CHANGE
LOT WIDTH	110'	79.00'	NO CHANGE
FRONT YARD SETBACK	50'	N/A	50.5'
SIDE YARD SETBACK	26.9'***	N/A	27.0'
REAR YARD SETBACK	30'***	N/A	73.1'
HEIGHT (STORIES/FT)	3.0/36'	N/A	<36'

** 50 FEET IF ABUTTING RESIDENTIAL DISTRICT
*** PER ZBL SECT. 415-34 AN EXISTING LOT WITH LESS THAN THE REQUIRED 110' OF
LOT WIDTH MAY REDUCE THE SIDE YARD SETBACK BY 1' FOR EVERY 10' BELOW 110'
RESIDENTIAL-2: 15' - ((110' - 79')/10) = 11.9'
LIMITED INDUSTRIAL: 30' - ((110' - 79')/10) = 26.9'

PARKING REQUIREMENTS

INDUSTRIAL USES (GENERAL): AT LEAST ONE SPACE FOR EVERY TWO EMPLOYEES, ONE SPACE
FOR EVERY VEHICLE GENERALLY BASED ON PREMISES AND ADEQUATE SPACE FOR VISITORS.

ZBL SECT. 415-22.A.2(d): IN ALL INDUSTRIAL DISTRICTS PARKING, LOADING AND ACCESS AREAS
SHALL BE SETBACK 10' FROM PROPERTY LINES.

ZBL SECT. 415-22.A.2(e): IN ALL INDUSTRIAL DISTRICTS WHICH ABUT RESIDENTIAL DISTRICTS
PARKING, LOADING AND ACCESS AREAS SHALL BE SETBACK 30'
FROM PROPERTY LINES.

PROPOSED TREE SCHEDULE

TREES QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
28	TP	THUJA PLICATA	GREEN GIANT ARBORVITAE	8'-10' HT.	B&B
2	LS	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	8'-10' HT.	B&B
2	AR	ACER RUBRUM	RED MAPLE	3"-4" CAL.	B&B

WETLAND BUFFER PLANTING SCHEDULE

SHRUBS QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
3	HAMAMELIS VIRGINIANA	WITCH HAZEL	2'-3' HT.
4	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	2'-3' HT.
3	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	18"-24" HT.

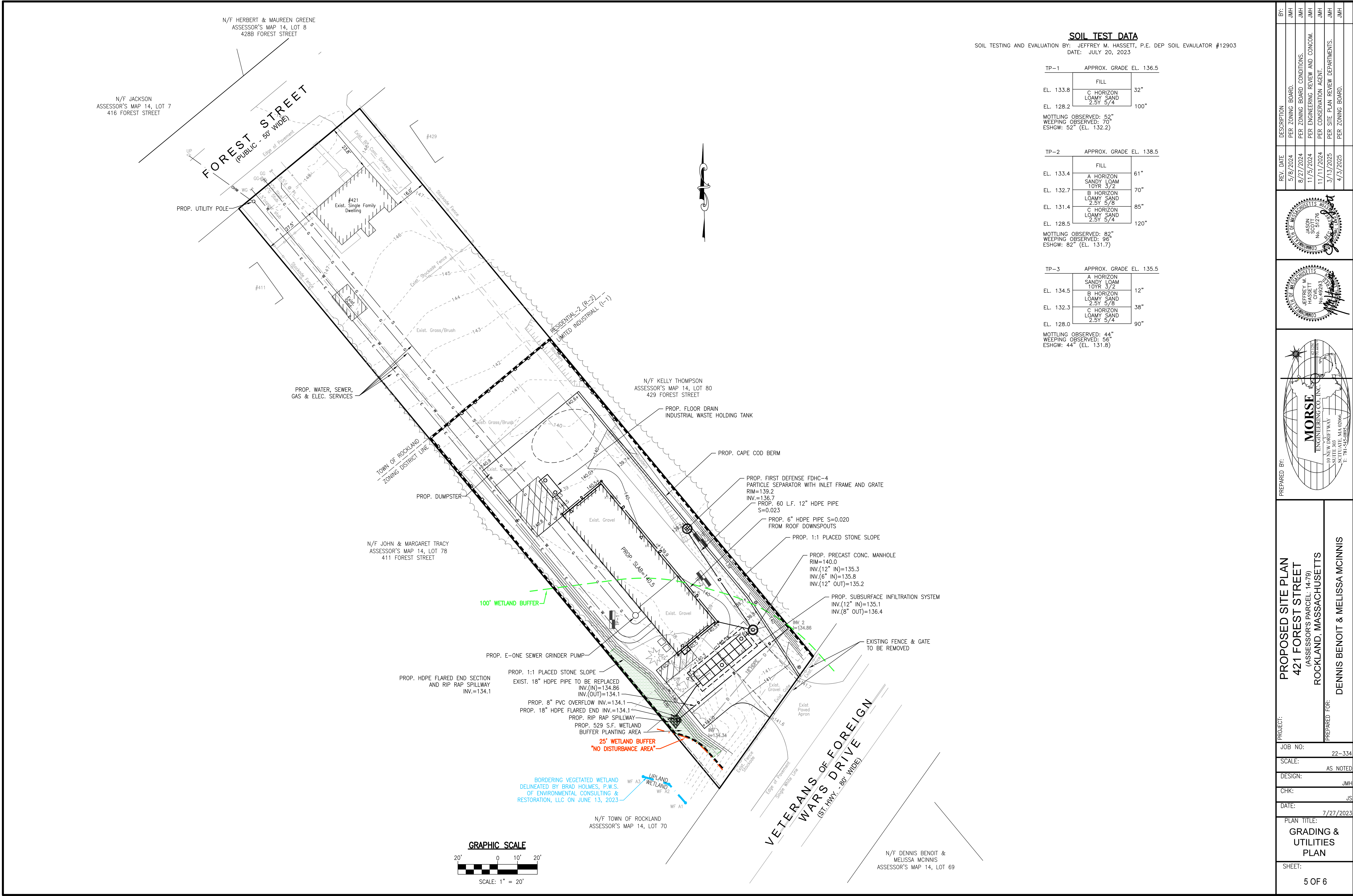
WETLAND BUFFER PLANTING AREA TO BE SEEDED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX BY
NEW ENGLAND WETLAND PLANTS (OR EQUAL).

BY:	JMH	JMH	JMH	JMH	JMH
DESCRIPTION	PER ZONING BOARD.	PER ZONING BOARD CONDITIONS.	PER ENGINEERING REVIEW AND CONCOM.	PER CONSERVATION AGENT.	PER SITE PLAN REVIEW DEPARTMENTS.
REV. DATE	5/8/2024	8/27/2024	11/5/2024	11/11/2024	3/13/2025
	PER ZONING BOARD.	PER ZONING BOARD.	PER ZONING BOARD.	PER ZONING BOARD.	PER ZONING BOARD.

PREPARED BY:
PROJECT:
JOB NO:
SCALE:
DESIGN:
CHK:
DATE:
PLAN TITLE:
SHEET:

PROPOSED SITE PLAN
421 FOREST STREET
(ASSESSOR'S PARCEL: 14-79)
ROCKLAND, MASSACHUSETTS
DENNIS BENOIT & MELISSA MCINNIS

22-334
AS NOTED
JMH
JS
7/27/2023
SITE LAYOUT
& LANDSCAPE
PLAN
4 OF 6



SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JEFFREY M. HASSETT, P.E. DEP SOIL EVALUATOR #12903
DATE: JULY 20, 2023

TP-1 APPROX. GRADE EL. 136.5

EL. 133.8	FILL	32"
EL. 128.2	C HORIZON LOAMY SAND 2.5Y 5/4	100"

MOTTLING OBSERVED: 52"
WEEPING OBSERVED: 70"
ESHW: 52" (EL. 132.2)

TP-2 APPROX. GRADE EL. 138.5

EL. 133.4	FILL	61"
EL. 132.7	A HORIZON SANDY LOAM 10YR 3/2	70"
EL. 131.4	B HORIZON LOAMY SAND 2.5Y 5/8	85"
EL. 128.5	C HORIZON LOAMY SAND 2.5Y 5/4	120"

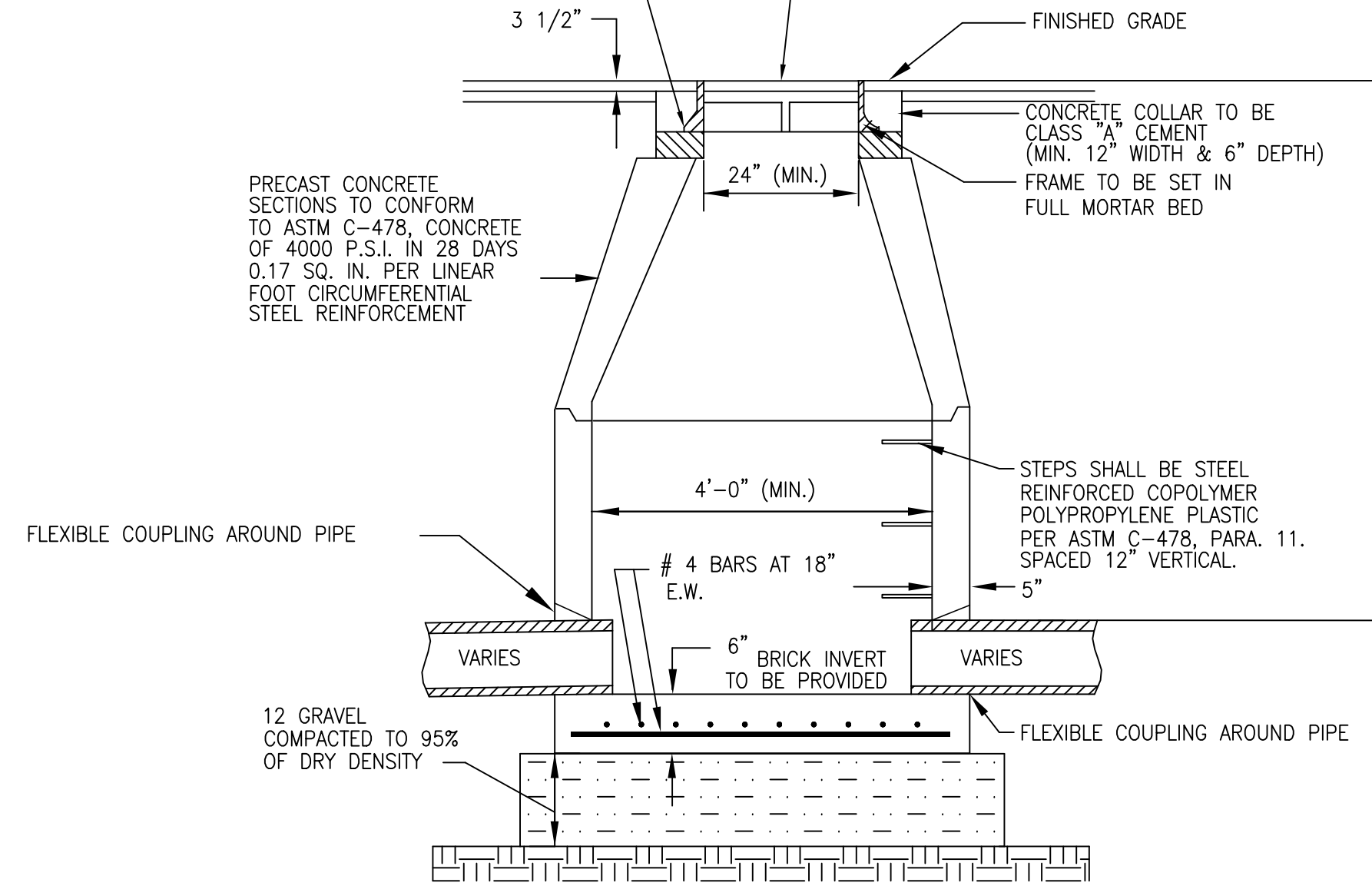
MOTTLING OBSERVED: 82"
WEEPING OBSERVED: 96"
ESHW: 82" (EL. 131.7)

TP-3 APPROX. GRADE EL. 135.5

EL. 134.5	A HORIZON SANDY LOAM 10YR 3/2	12"
EL. 132.3	B HORIZON LOAMY SAND 2.5Y 5/8	38"
EL. 128.0	C HORIZON LOAMY SAND 2.5Y 5/4	90"

MOTTLING OBSERVED: 44"
WEEPING OBSERVED: 56"
ESHW: 44" (EL. 131.8)

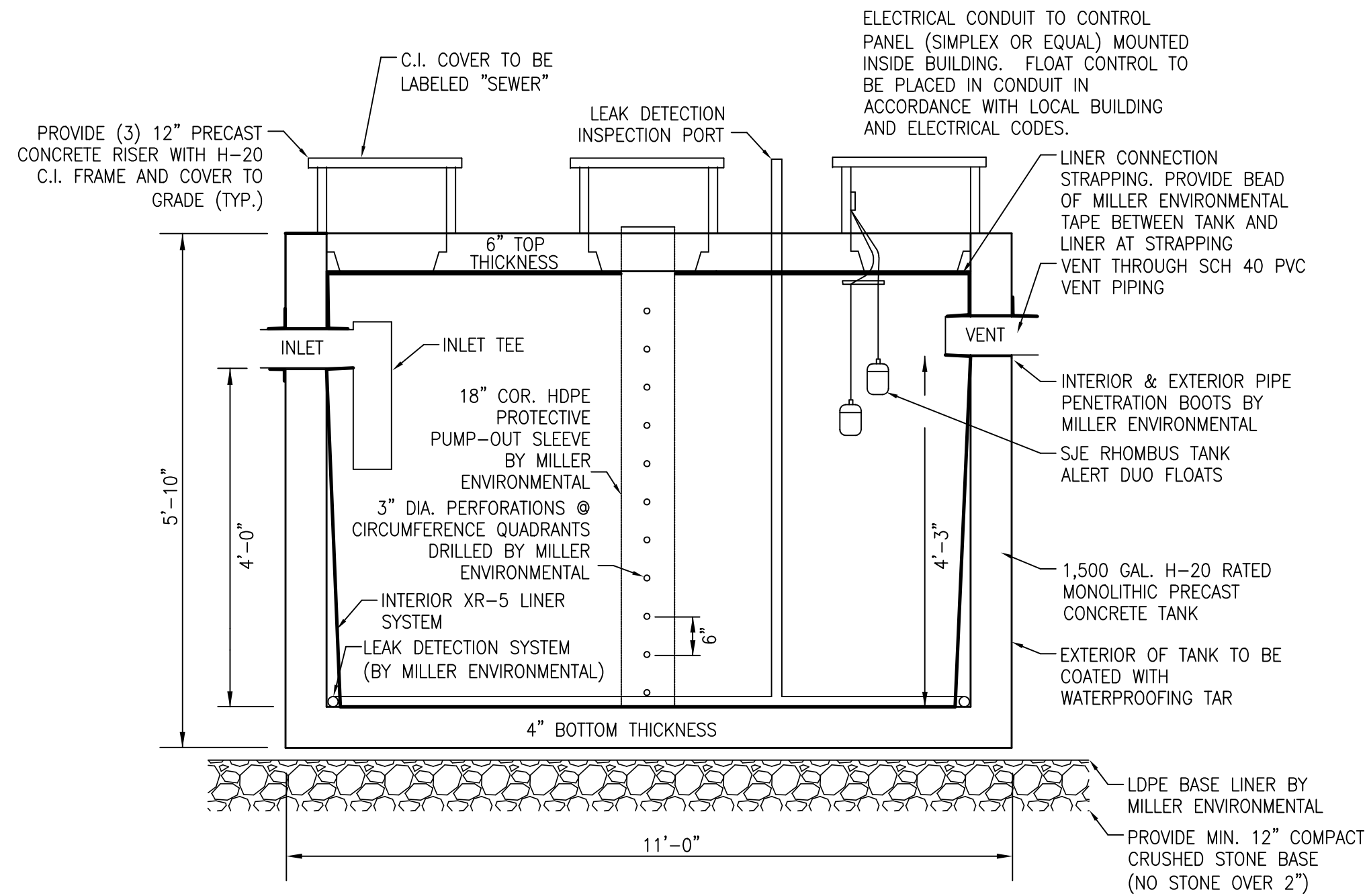
ADJUST AS REQUIRED TO FINISHED GRADE WITH TWO RED CLAY BRICK COURSES (MAX.)



STORM DRAIN NOTES:

1. REINFORCED CONCRETE DRAIN PIPE SHALL BE CLASS IV UNLESS OTHERWISE NOTED.
2. DRAIN PIPES WITH LESS THAN 3' OF COVER SHALL BE CLASS V HDPE.
3. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-190D METHOD.
4. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
5. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
6. BRICKS SHALL BE RED CLAY.

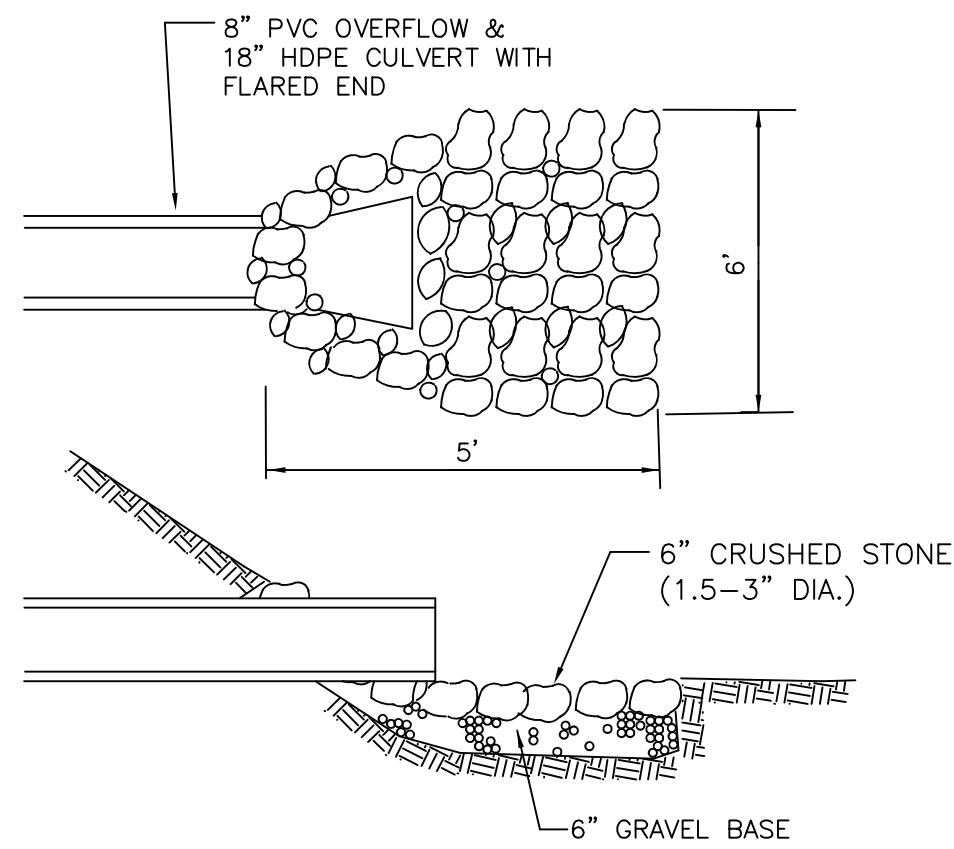
STANDARD MANHOLE DETAIL
NOT TO SCALE



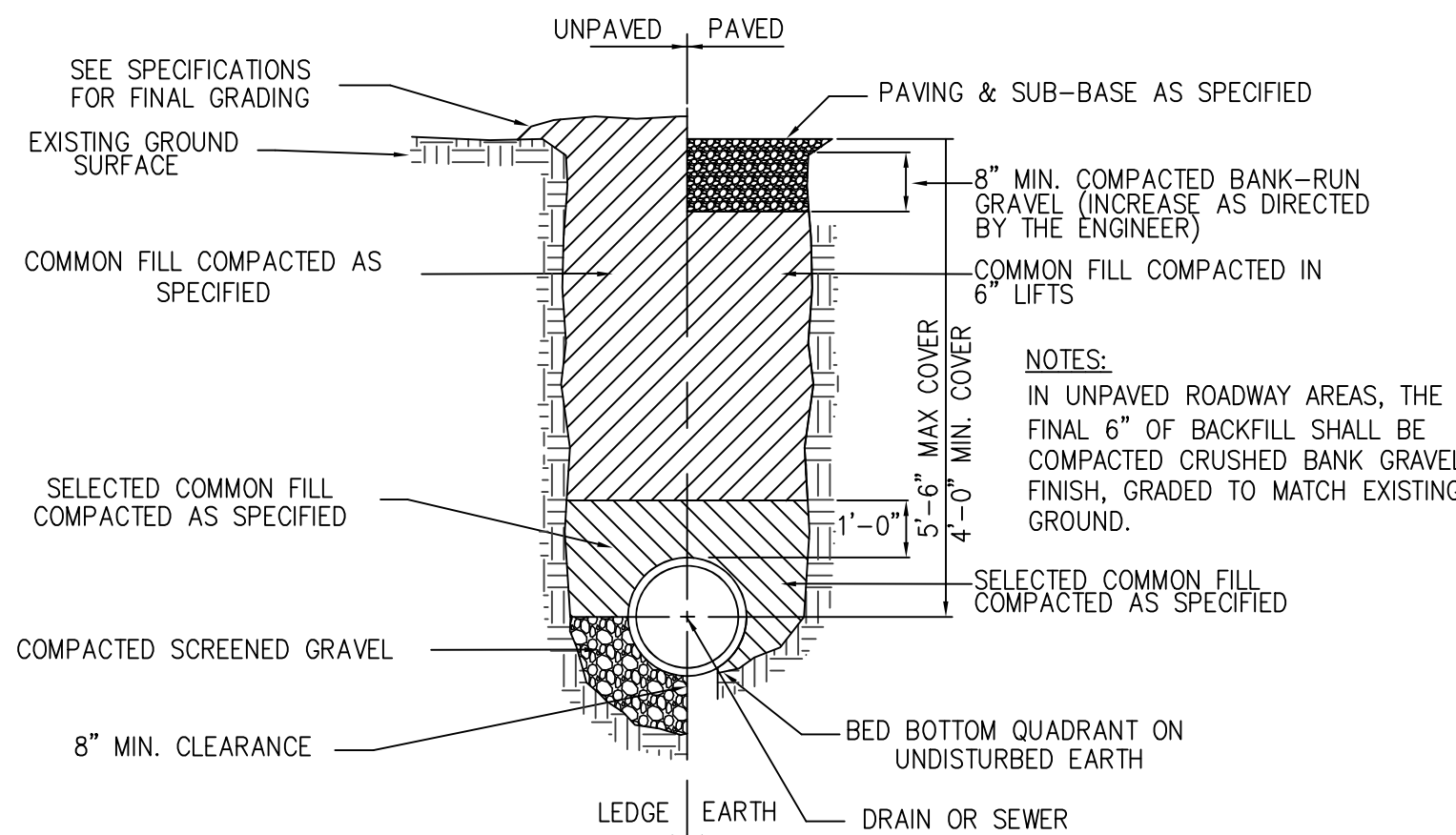
HOLDING TANK NOTES:

1. ALL LINING, LEAK DETECTION, PIPE PENETRATION BOOTS, PUMP-OUT INSERT AND ALARM FROM MILLER ENVIRONMENTAL CORP. (508-378-3800)
2. HOLDING TANK SHALL BE PUMPED BY A LICENSED SEPTAGE HAULER WHENEVER THE 75% FULL ALARM IS ACTIVATED OR AT LEAST EVERY MONTH, WHICHEVER IS SOONER. HOLDING TANK SHALL BE INSPECTED BY SEPTAGE HAULER OR OTHER QUALIFIED PERSON CONCURRENTLY WITH PUMPING.
3. CONTRACTOR TO PROVIDE TANK CUT SHEET TO MILLER ENVIRONMENTAL CORP. AND DESIGN ENGINEER PRIOR TO ORDERING TO ENSURE TANK COMPLIES WITH THE SPECIFICATIONS OF LEAK DETECTION SYSTEM AND LINER SYSTEM.
4. THE CONCRETE TANK SHALL BE FIELD TESTED FOR WATERTIGHTNESS BY MILLER ENVIRONMENTAL PRIOR TO INSTALLATION OF THE INTERIOR LINER. THE INTERIOR LINER SHALL ALSO BE FIELD TESTED FOR WATERTIGHTNESS BY MILLER ENVIRONMENTAL.
5. THE LINER SHALL BE FABRICATED TO PROVIDE AN EFFECTIVE SEAL AROUND THE INLET PIPE, VENT PIPE AND MANHOLE RISERS.
6. A PLAQUE OR SIGN SHALL BE INSTALLED, TO INSTRUCT THE SEPTAGE HAULER AS TO SPECIFIC TECHNIQUES TO AVOID DAMAGING THE LINER DURING ROUTINE PUMPING. THE PLAQUE SHALL READ: THIS TANK IS LINED WITH A PVC MEMBRANE. TO AVOID PUNCTURE, DO NOT USE SHARP OBJECTS WITHIN THE TANK. MILLER ENVIRONMENTAL PRODUCTS, INC. (508) 378-3800.

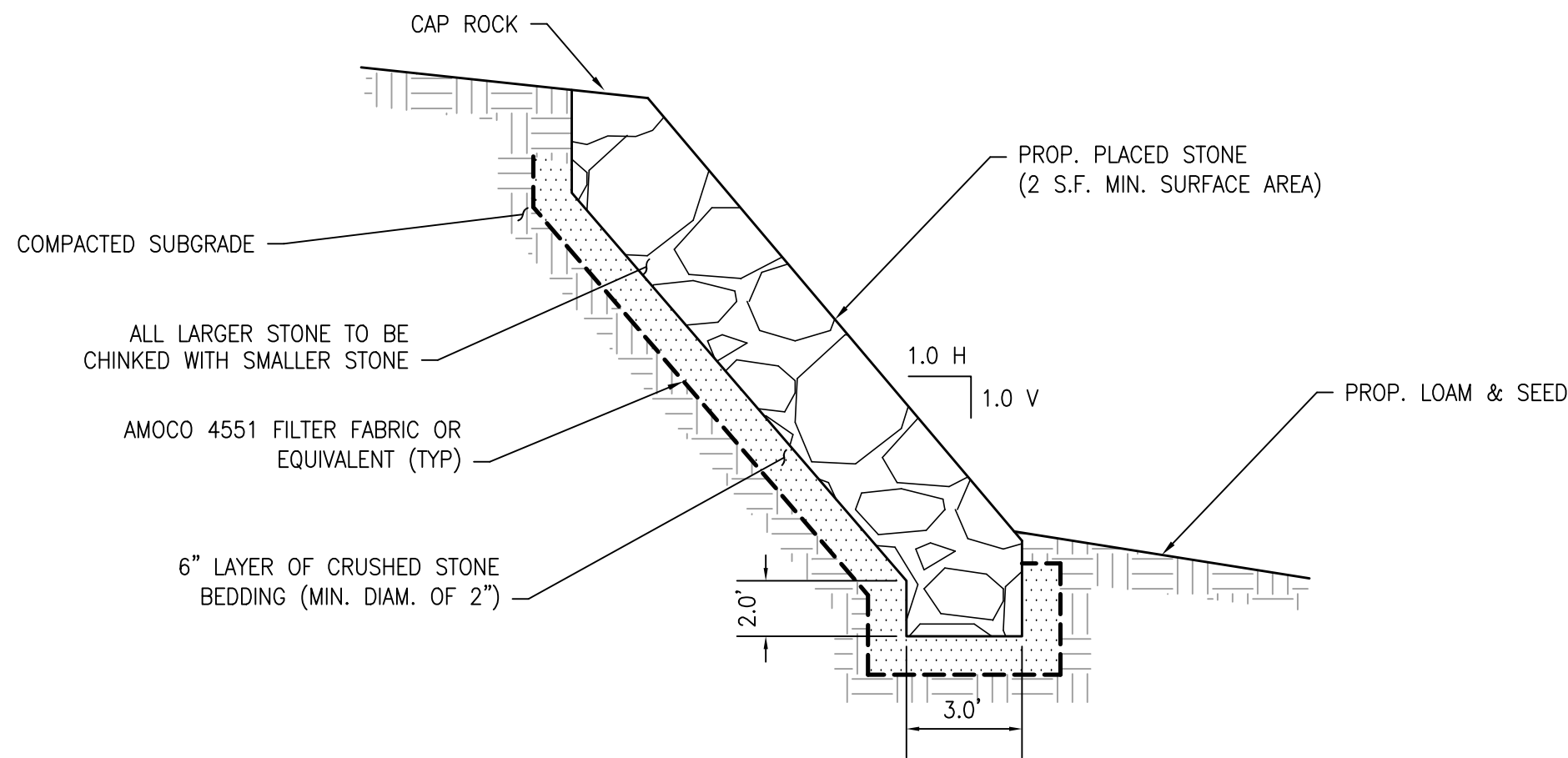
1,500 GAL. INDUSTRIAL WASTE HOLDING TANK DETAIL
NOT TO SCALE



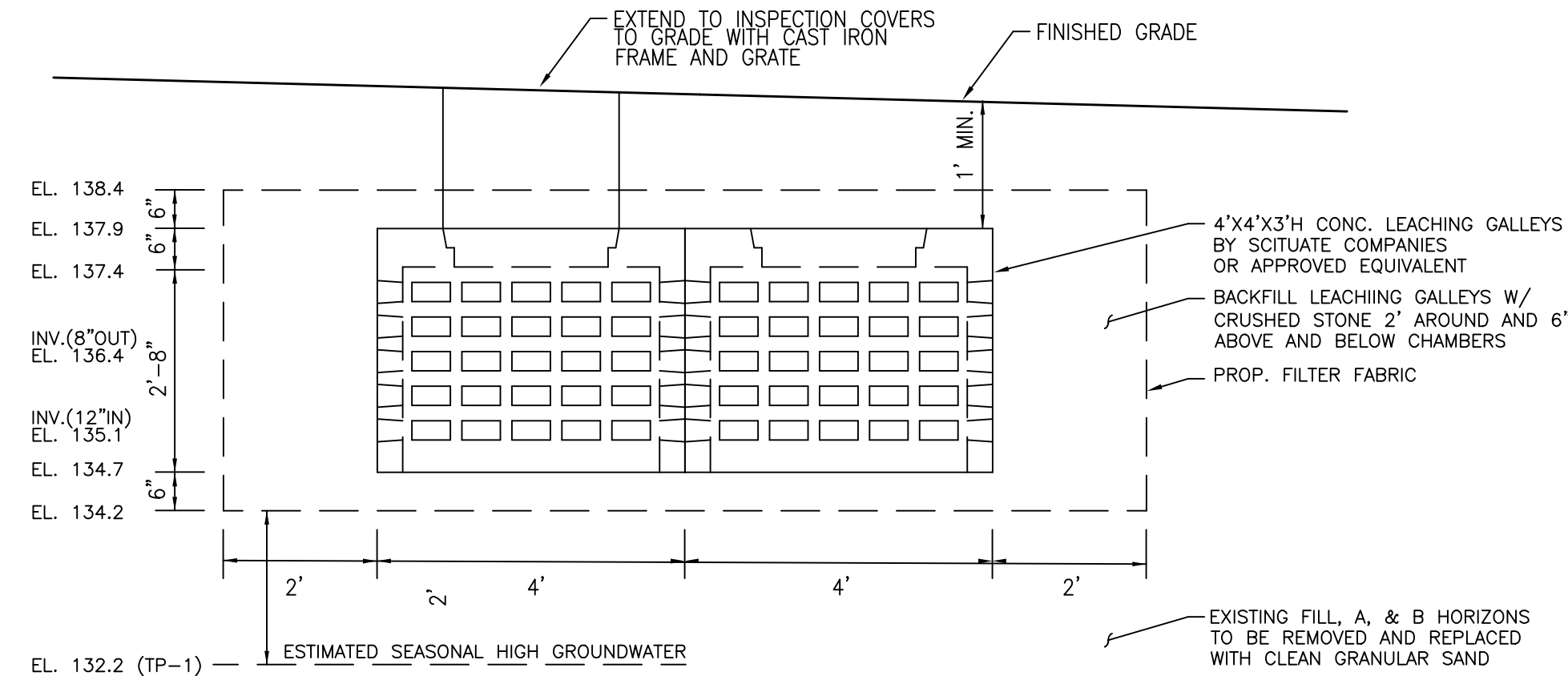
RIP RAP SPILLWAY
NOT TO SCALE



TYPICAL TRENCH
NOT TO SCALE



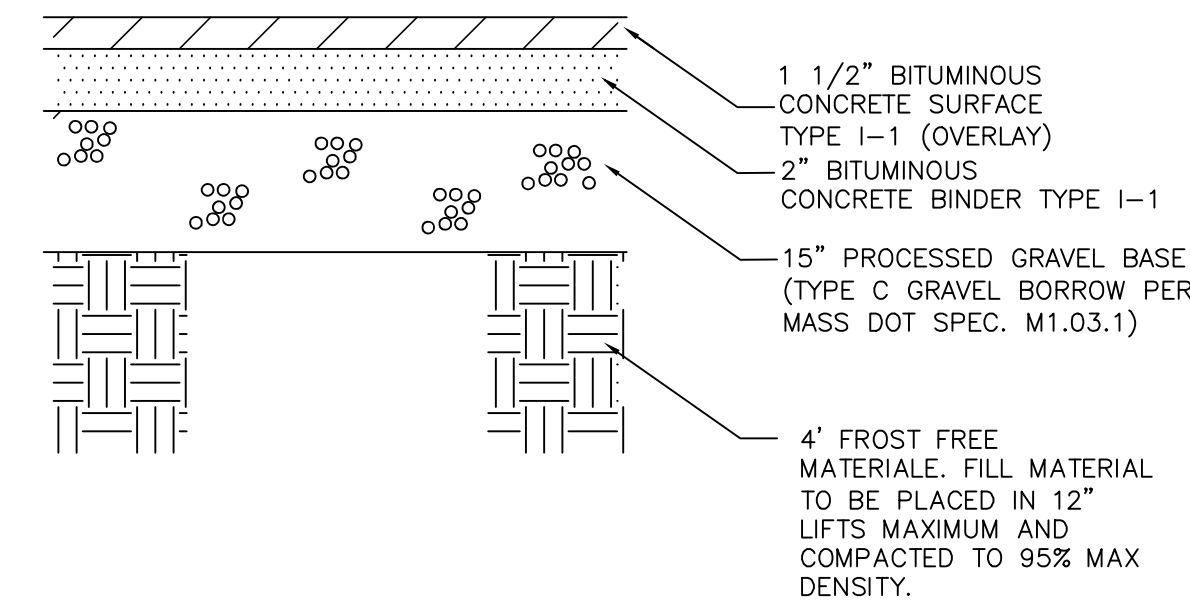
1:1 PLACED STONE SLOPE DETAIL
NOT TO SCALE



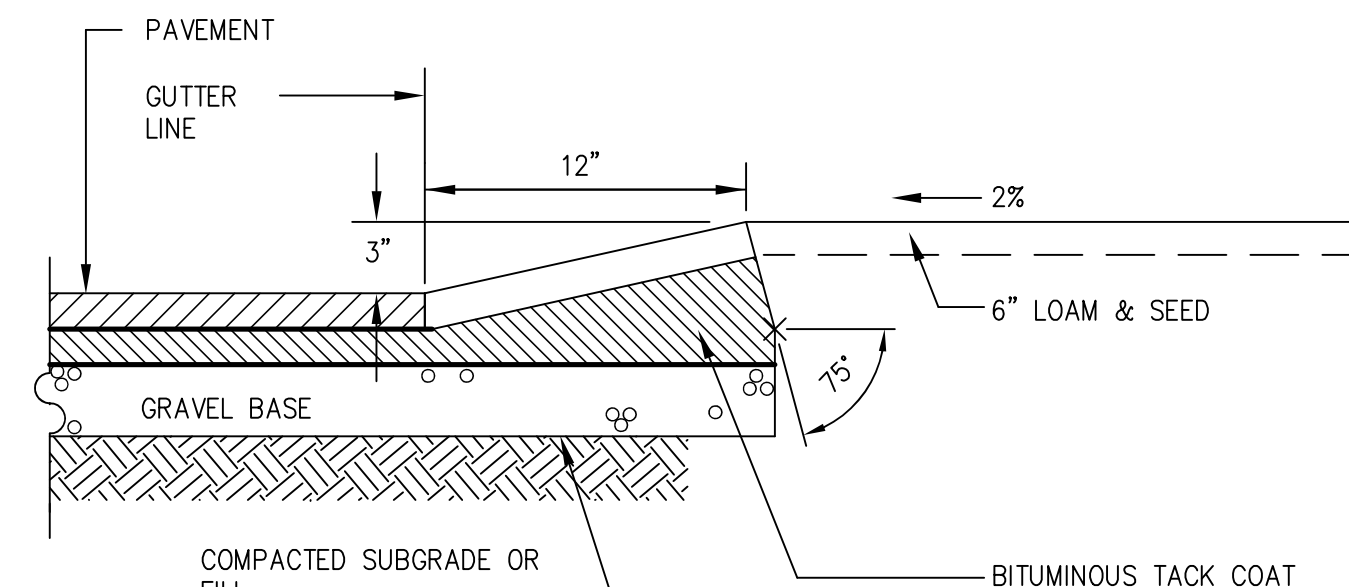
NOTES:

1. ALL ROOF LEADERS SHALL BE EQUIPPED WITH DOWNSPOUT STRAINERS.
2. NO CONSTRUCTION ACTIVITY (TRAFFIC) SHALL BE ALLOWED OVER THE LEACHING DRY WELL AREAS.
3. NO CONSTRUCTION SURFACE WATER OR DEWATERING DISCHARGES SHALL BE DISCHARGED INTO THE SUBSURFACE LEACHING LOCATIONS.

SUBSURFACE LEACHING SYSTEM
NOT TO SCALE



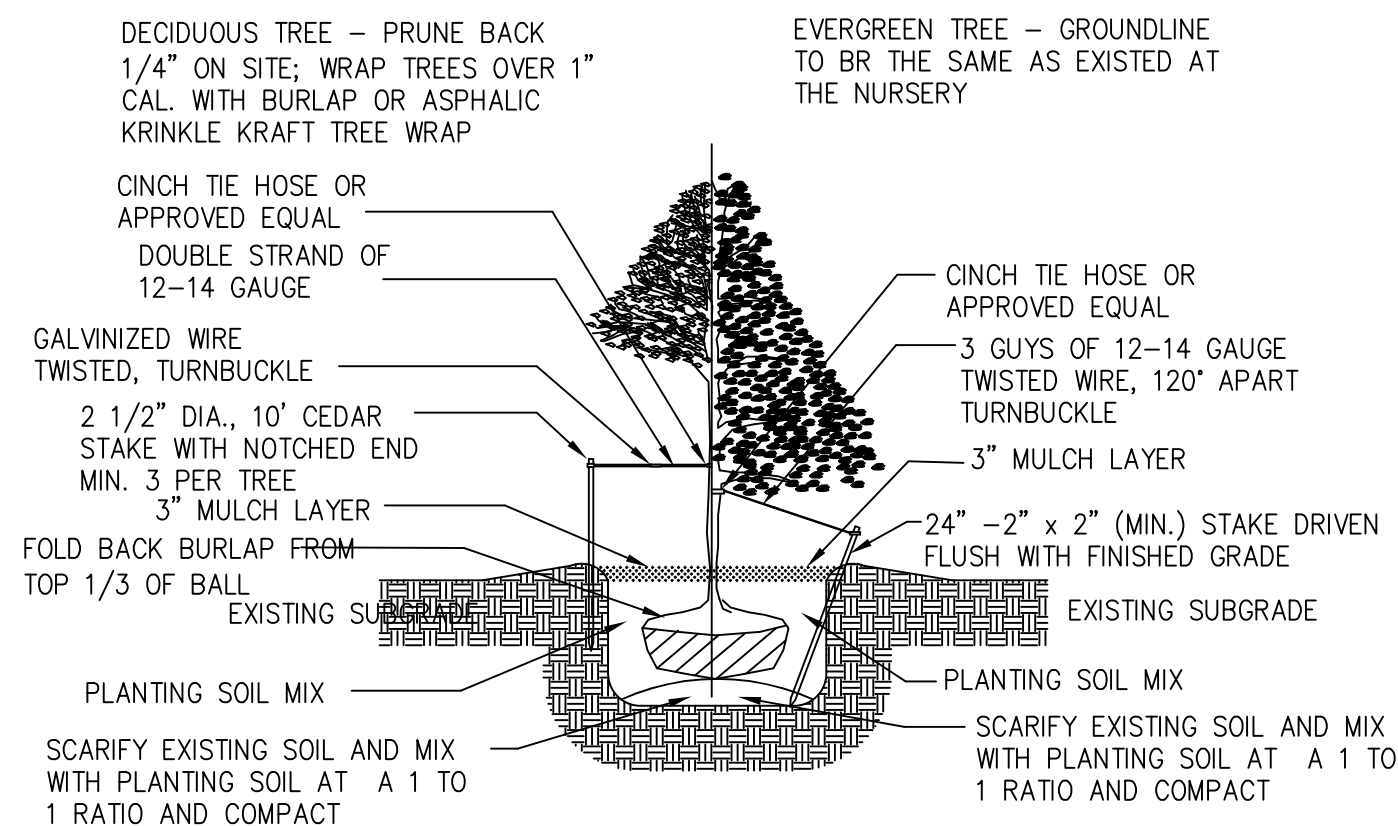
STANDARD BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE



NOTE:

1. THE CAPE COD BERM SHALL BE INSTALLED INTEGRALLY WITH BOTH THE BINDER AND TOP COURSES.

CAPE COD BERM DETAIL
NOT TO SCALE



DECIDUOUS AND EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

BY:	JMH	DESCRIPTION	PER ZONING BOARD.	REV. DATE	5/8/2024
	JMH		PER ZONING BOARD CONDITIONS.		8/27/2024
	JMH		PER ENGINEERING REVIEW AND CONCOM.		11/5/2024
	JMH		PER CONSERVATION AGENT.		11/11/2024
	JMH		PER SITE PLAN REVIEW DEPARTMENTS.		3/13/2025
	JMH		PER ZONING BOARD.		4/3/2025
PREPARED BY:	DENNIS BENOIT & MELISSA MCINNIS				
PROJECT:	PROPOSED SITE PLAN 421 FOREST STREET (ASSESSOR'S PARCEL: 14-79) ROCKLAND, MASSACHUSETTS				
JOB NO:	22-334				
SCALE:	AS NOTED				
DESIGN:	JMH				
CHK:	JS				
DATE:	7/27/2023				
PLAN TITLE:	CONSTRUCTION DETAILS PLAN				
SHEET:	6 OF 6				